

**AGENDA**  
**ST. JAMES PLANNING COMMISSION MEETING**  
**Monday, February 24, 2020 - 6:00 p.m.**

**I. ROLL CALL**

**II. MINUTES OF PREVIOUS MEETINGS**

1. January 27, 2020 Minutes

**III. ELECTION**

1. Nomination for Chairman
2. Nomination for Vice Chairman
3. Nomination for Secretary

**IV. CORRESPONDENCE**

1. None

**V. PRESENTATION AND PUBLIC COMMENTS**

1. Presentation – None
2. Public Comments - (on agenda items)

**VI. RESUBDIVISION OF PLOT – OLD BUSINESS**

**1. Plot #: 20-02 (Tabled From 01-27-2020 Meeting)**

**Plot Name:** Lyell Robert Resub.

**Request:** Requesting Preliminary approval to resubdivide Lot G6 of the George Irving Sub. and a portion of the property belonging to Clinton Roberts Jr. into lots herein designates as lot G6-A.

**Location:** Convent, LA

**Section-Township-Range:** Section 28, T12S-R4E

**Elevation:** +18.7'

**Proposed Land Use:** Residential Growth

**Lot Size:** G6-A (45,105 sq. ft.)

**Number of Lots:** 1

**Land Use Designation:** Residential Growth

**Status:** Pending the Letter of No Objection from LaDHH and the Deliverance of CAD File

**Owner/Development:** Lyell Roberts

**VII. RESUBDIVISION OF PLOT – NEW BUSINESS**

**1. Plot #: 20-06**

**PC: 02-24-2020**

**Plot Name:** Raymond Richardson 3.76Acre Tract

**Request:** Requesting Preliminary approval to resubdivide a 3.76 Tract into lots herein designated as Lot A and Lot B.

**Location:** St. James, LA

**Section-Township-Range:** Section 1, T-12-S, R-15-E

**Elevation:** 10.9' and greater

**Proposed Land Use:** Residential Growth

**Lot Size:** A (3.49 Acres) and B (0.27 Acres)

**Number of Lots:** 2

**Land Use Designation:** Residential Growth

**Status:** Pending the Letter of No Objection from LaDHH and the Deliverance of CAD File

**Owner/Development:** Jamin Jones

## VIII. OTHER ORDINANCE MATTERS

### 1. Item #: 20-05

PC: 02-24-2020

**Item Name:** Thomas A. Granier, Jr.- Variance

**Request:** Requesting a 10' foot variance approval to build an addition to the existing residential structure.

**Location:** 22698 N. Rosary St., Vacherie, LA 70090

**Owner/Development:** Thomas A. Granier, Jr.

## IX. LAND USE- OLD BUSINESS

### 1. Item #: 20-01

PC: 01-27-2020

**Item Name:** Plains Marketing, L.P.

**Request:** Requesting approval to install industrial tracks and turnouts in support of the adjacent Yuhuang Chemical Inc. (YCI) Methanol One, LLC Facility. The proposed track and turnouts will be an expansion of Plains' existing St. James Terminal, which is directly served by the Union Pacific Railroad (UPRR). The proposed project only includes the installation of new tracks and turnouts. in Vacherie, Louisiana. Under Section 86-37 of the St. James Parish Code of Ordinances. Under Section 86-37(f) the Planning Commission has decision-making authority over the proposed facility. **No Action to be Taken at this time.**

**Location:** St. James, LA

**Section-Township-Range:** Section 58, 59, 81, 82, and 90: T12S:R16E

**Elevation:**

**Proposed Land Use:** Industrial

**Lot Size:** 26.9 acres

**Land Use Designation:** Industrial

**Owner/Development:** Plains Marketing, L.P.

## X. LAND USE- NEW BUSINESS

### 1. None

## XI. EXECUTIVE SESSION

### 1. None

## XII. ADJOURNMENT

**PROCEEDINGS OF THE PLANNING COMMISSION, PARISH OF ST. JAMES, STATE OF LOUISIANA,  
TAKEN AT A REGULAR MEETING ON MONDAY, JANUARY 27, 2020**

The Planning Commission of the Parish of St. James, State of Louisiana, met in regular session at the Courthouse in Convent, Louisiana on Monday, January 27, 2020 at 6:00 p.m.

**PRESENT:** Dean Millet, Mike Krumholt, Anthony Boudreaux, Arthur Matherne, Jon Hotard, Danny St. Pierre, Glenn Millet, and Sue Bier (Non-Voting)

**ABSENT:** Johnny Lawrence and Ralph Becnel

**OTHERS IN ATTENDANCE:** Marrill McKarry, Rick Weber, Vic Franckiewicz, President Peter Dufresne

**MINUTES**

Motioned by D. Millet and seconded by A. Boudreaux to approve the minutes of the December 23, 2019 regular meeting. All in favor. Motion carried.

**CORRESPONDENCE**

1. None

**PRESENTATION AND PUBLIC COMMENTS**

1. Presentation – None
2. Public Comments – (on agenda items)

**RESUBDIVISION OF PLOT - OLD BUSINESS**

1. **Bourgeois Property (Plot # 19-26)**- Chairman Glen Millet advised for motion to be made to remove item from being Tabled. D. Millet made a motion and was seconded by A. Matherne. Represented by Donovan Bourgeois. Requesting final approval to resubdivide Lot 3 of V. Bourgeois Property into Lots herein designated as lot 3-A and 3-B of the V. Bourgeois Property. Vic Franckiewicz advise that a motion be made for preliminary first then final since item has never been approved preliminary. J. Hotard motion for preliminary approval and was second by A. Boudreaux. A. Matherne made a motion to approve final approval and was seconded by A. Boudreaux. Received Letter of No Objection from LaDHH and the Deliverance of CAD File. All in Favor. Motion carried.
2. **Mumphrey Tract Partition (Plot # 19-34)**- Represented by Shane Guillot. Requesting final approval to resubdivide the Mumphrey Tract and Tract B into lots herein designated as the remainder of the Mumphrey Tract and Tract B-1 and B-2 of the Mumphrey Tract and Tract B. Motion by A. Matherne and seconded by J. Hotard. Received Letter of No Objection from LaDHH and the Deliverance of CAD File. Motion carried. Roll call vote: D. Millet- yes, M. Krumholt- yes, A. Boudreaux- yes, J. Lawrence- absent, A. Matherne- yes, R. Becnel-absent, J. Hotard- yes, D. St. Pierre- yes, G. Millet-yes. All in Favor. Motion carried.

**RESUBDIVISION OF PLOT - NEW BUSINESS**

1. **Lyell Robert Resub. (Plot # 20-02)**- Requesting Preliminary approval to resubdivide Lot G6 of the George Irving Sub. and a portion of the property belonging to Clinton Roberts Jr. into lots herein designates as lot G6-A. Motion by A. Matherne to table agenda item for lack of representation. Motion was seconded by D. Millet. All in Favor. Motion carried.
2. **Laura Barrios Tract Resub. (Plot # 20-03)**- Represented by Michelle Smith. Requesting Preliminary approval to resubdivision of the Laura Barrios Tract Per COB 323, Folio 616 into lots herein designated as Lot 1-A and Lot 1-B of the Laura Barrios Tract. A. Matherne motion for preliminary approval with the correction to survey. Motion was seconded by D. St. Pierre. Pending Letter of No Objection from LaDHH and the Deliverance of CAD File. All in Favor. Motion carried.

**LAND USE- PUBLIC HEARINGS**

1. None

**LAND USE- OLD BUSINESS**

1. None

**LAND USE- NEW BUSINESS**

1. **Plains Marketing. L.P. (Informational Item # 20-01)** Information on a request for approval to install industrial tracks and turnouts in support of the adjacent Yuhuang Chemical Inc. (YCI) Methanol One, LLC Facility. The proposed track and turnouts will be an expansion of Plains' existing St. James Terminal, which is directly served by the Union Pacific Railroad (UPRR). The proposed project only includes the installation of new tracks and turnouts. in Vacherie, Louisiana. Item was represented by James Cannon and Jesse Patterson. Commissioners and parish administration asked questions. No Action taken on this agenda item. Under Section 86-37 of the St. James Parish Code of Ordinances. Under Section 86-37(f) the Planning Commission has decision-making authority over the proposed facility. The decision on this application will need to be advertised in the paper 14 days before the meeting at which a decision will be made, per Section 86-37(g)(4).

**EXECUTIVE SESSION**

1. None

Chairman Glenn Millet advise commissioners of Ethics Training for the year of 2020.

Parish President Peter Dufrensne and chairman welcomes Danny St. Pierre to the board of Planning Commission.

Chairman Glenn Millet advise commissioners that next meeting will have an item to select a chairman.

**ADJOURNMENT**

Motioned by A. Matherne and seconded by J. Hotard to adjourn. All in favor. Motion carried.  
Meeting adjourned at 6:44 p.m.

s/ \_\_\_\_\_  
Glen Millet, Chairman

s/ \_\_\_\_\_  
Michael Krumholt, Secretary



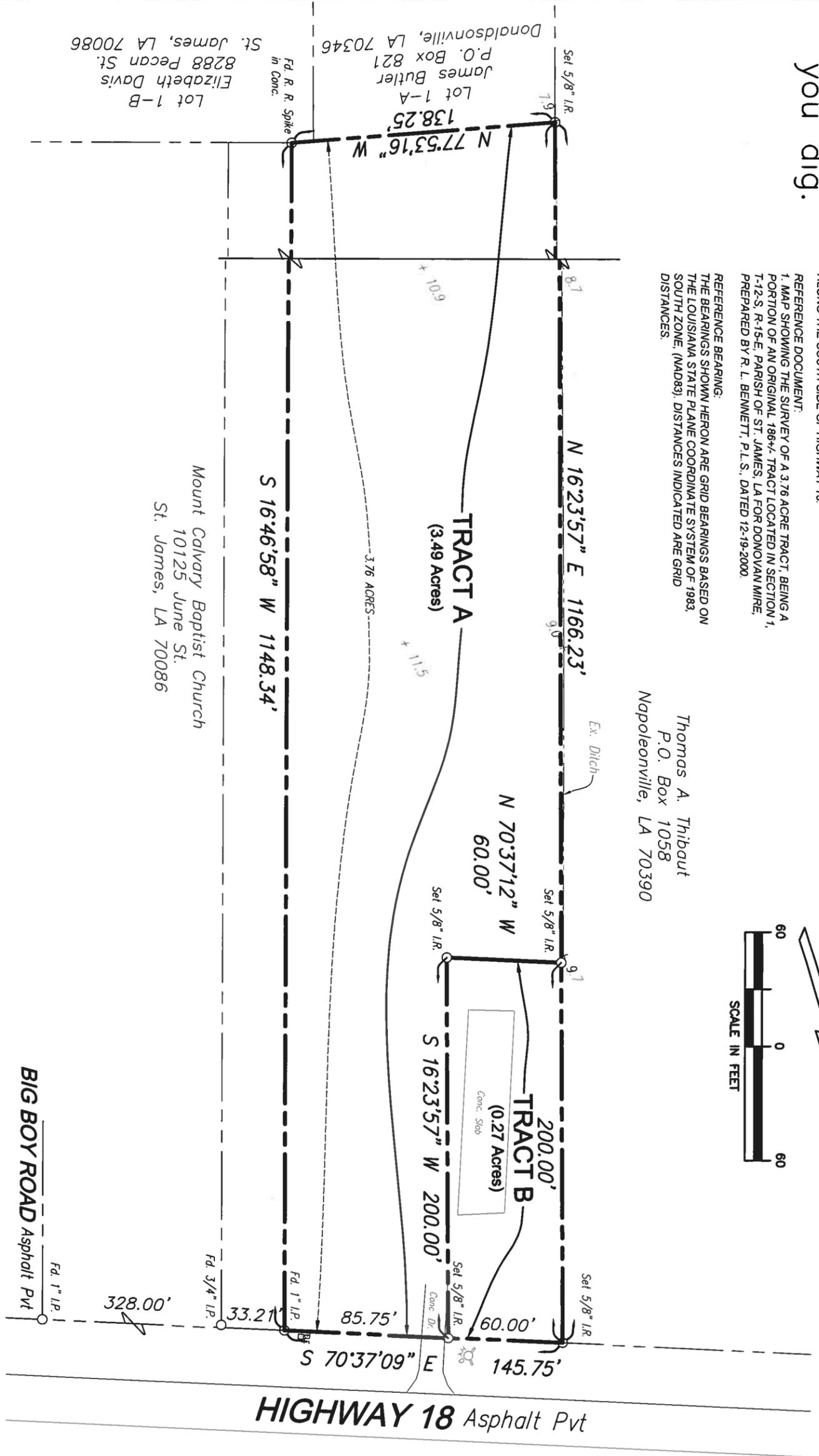
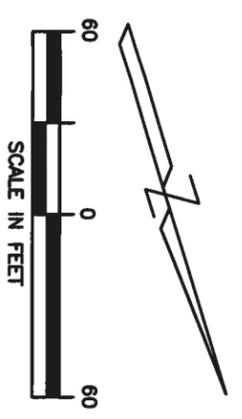
**DRAINAGE NOTE:**  
 1. DRAINAGE TO BE MAINTAINED BY CURRENT OR FUTURE OWNER.  
 2. ROADSIDE DITCHES EXIST ON SITE W/CULVERT.

**OUTFALL PATH:**  
 DRAINS EAST THROUGH EXISTING DITCHES AND CULVERTS ALONG THE SOUTH SIDE OF HIGHWAY 18.

**REFERENCE DOCUMENT:**  
 1. MAP SHOWING THE SURVEY OF A 3.76 ACRE TRACT, BEING A PORTION OF AN ORIGINAL 1864- TRACT LOCATED IN SECTION 1, T-12-S, R-15-E, PARISH OF ST. JAMES, LA FOR DONOVAN WIRE, PREPARED BY R. L. BENNETT, P.L.S., DATED 12-19-2000.

**REFERENCE BEARING:**  
 THE BEARINGS SHOWN HERON ARE GRID BEARINGS BASED ON THE LOUISIANA STATE PLANE COORDINATE SYSTEM OF 1983, SOUTH ZONE, (NAD83). DISTANCES INDICATED ARE GRID DISTANCES.

Thomas A. Thibout  
 P.O. Box 1058  
 Napoleonville, LA 70390



**HIGHWAY 18** Asphalt Pvt



**VICINITY MAP**

Not to Scale

- NOTES:**
1. NO ATTEMPT HAS BEEN MADE BY LOUISIANA LAND SURVEYING, INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIPS, SERVITUDES, EASEMENTS, RIGHTS-OF-WAY OR OTHER BURDENS ON THE PROPERTY, OTHER THAN THAT FURNISHED BY THE CLIENT OR HIS REPRESENTATIVE.
  2. THE APPROVAL OF THIS PLAT OR MAP DOES NOT RELIEVE THE IMMEDIATE PROPERTY OWNER OR FUTURE PROPERTY OWNER FROM COMPLYING WITH ALL APPLICABLE FEDERAL, STATE, AND CITY/PARISH LAWS AND ORDINANCES GOVERNING THE SALE AND DEVELOPMENT OF THE PROPERTY.
  3. ACCORDING TO THE FEDERAL EMERGENCY FLOOD INSURANCE RATE MAP PANEL NO. 22093C 0075C, EFFECTIVE 7-4-11, THIS PROPERTY IS LOCATED IN FLOOD ZONE X.
  4. PROPOSED TO BE USED FOR SINGLE FAMILY RESIDENCES.

**MAP SHOWING SUBDIVISION**  
**of**  
**A 3.76 ACRE TRACT**  
 into  
**LOTS A & B**

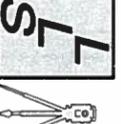
Situated in Section 1, T-12-S, R-15-E  
 St. James Parish, Louisiana  
 prepared for  
**Jamin Jones**

**OWNER** \_\_\_\_\_ **DATE:** \_\_\_\_\_  
**APPROVED BY THE ST. JAMES PARISH PLANNING COMMISSION**  
**PLANNING COMMISSION CHAIRMAN** \_\_\_\_\_ **DATE:** \_\_\_\_\_  
**APPROVED:** \_\_\_\_\_  
**PARISH PRESIDENT** \_\_\_\_\_ **DATE:** \_\_\_\_\_

**CERTIFICATION**  
 THIS IS TO CERTIFY THAT THIS PLAT CONFORMS TO LA REVISED STATUTES 33:5051 ET. SEQ. AND CONFORMS TO ALL PARISH ORDINANCES CONCERNING THE SUBDIVISION OF LAND AND EXCEEDS THE ACCURACY STANDARDS FOR A CLASS 'C' SURVEY.



FILE NAME:	20-069_R31
PROJECT NO.:	20-069
DATE:	2-13-20
SCALE:	1" = 60'
DRAWN BY:	TGM
APPROVED:	CMC


  
**LOUISIANA LAND SURVEYING, INC.**  
 17732 Highland Road • Suite G-128  
 Baton Rouge • Louisiana • 70810  
 Phone 753-5263(LAND)

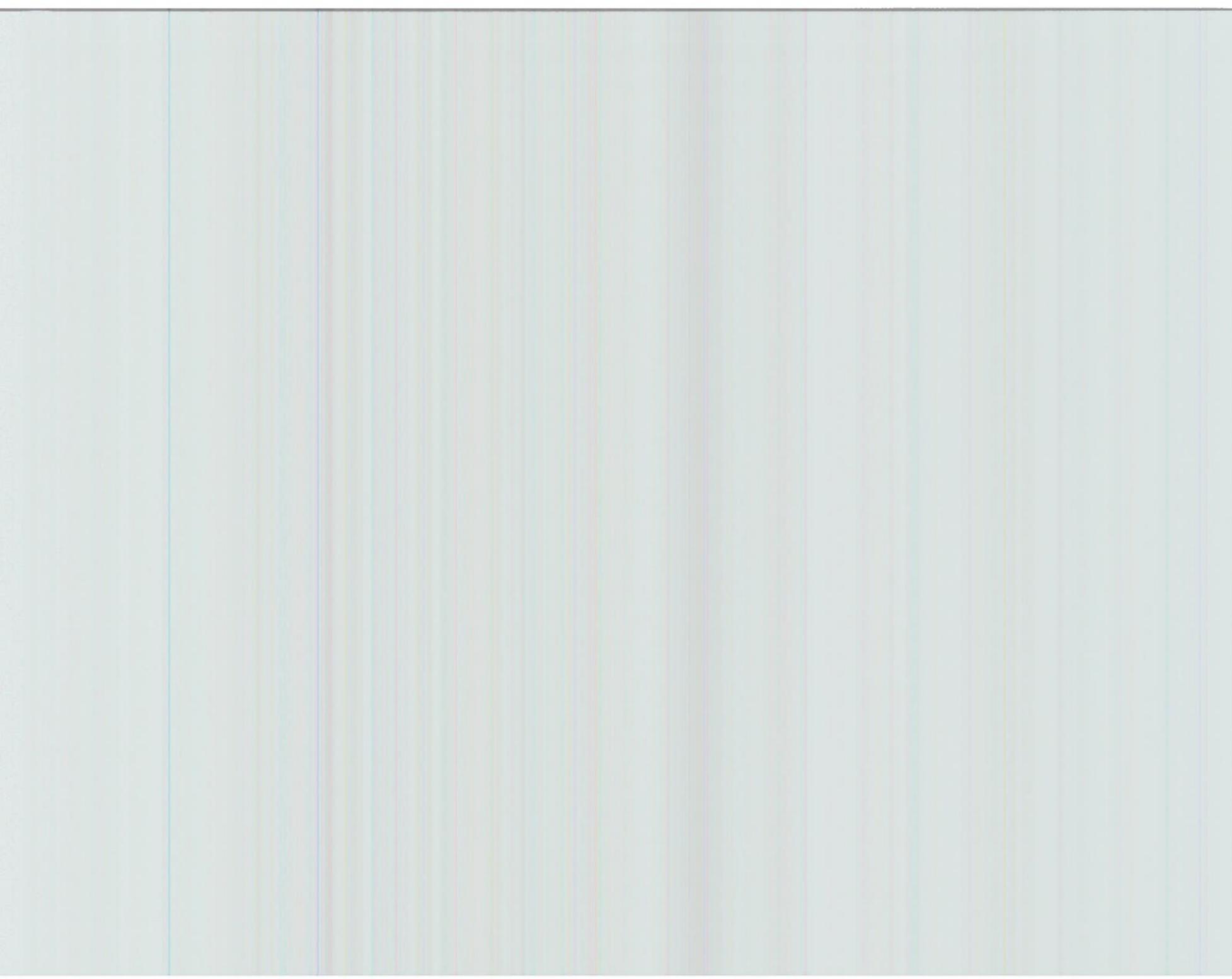
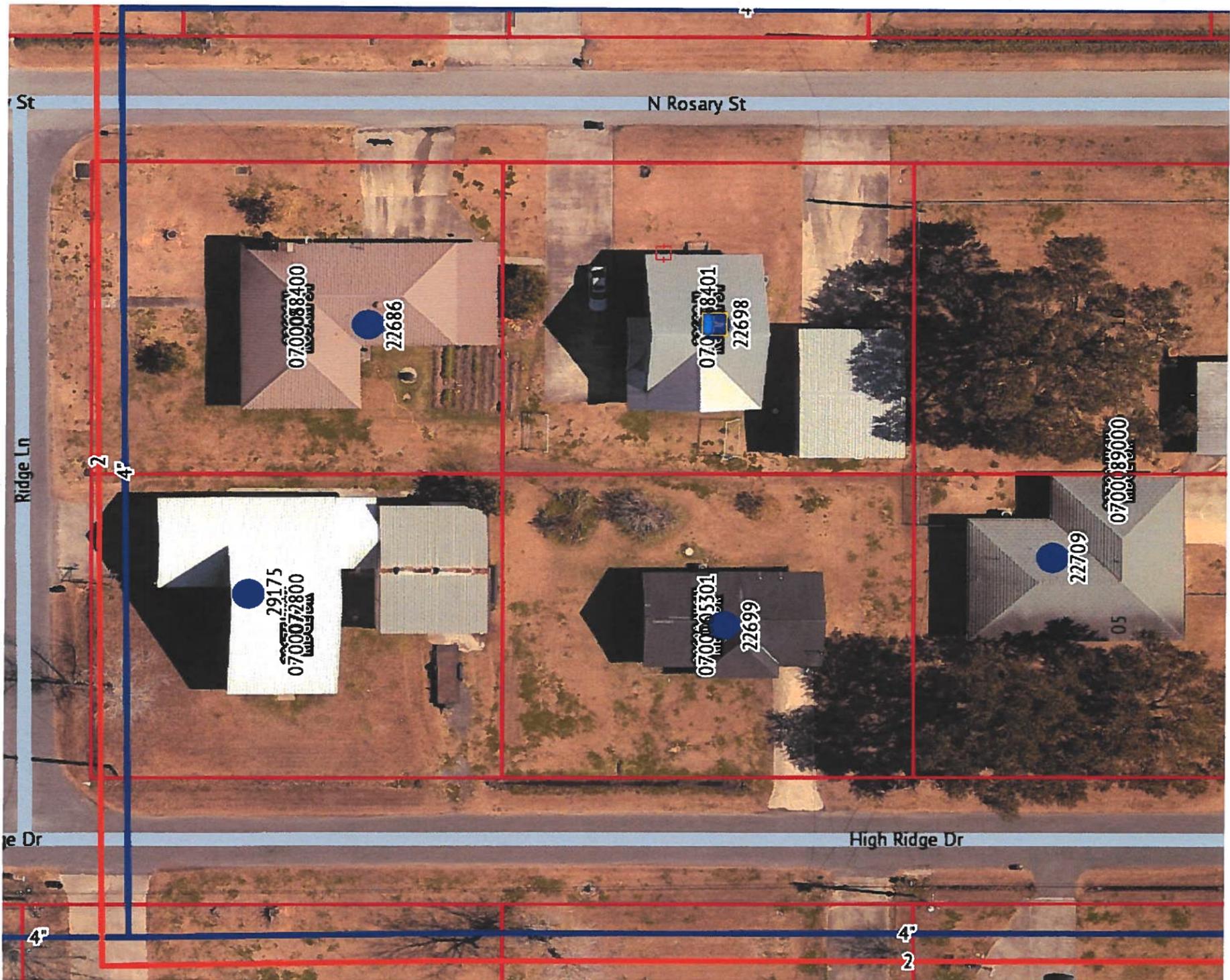
20-06

2/7/2020

Variance <sup>JTC</sup> 20-05

I Thomas A. Gramier Jr. is requesting a 10' variance to build an addition to my home at 22698 N. Rosary St. Macleerie Ln. 70090.

Thomas A. Gramier Jr.

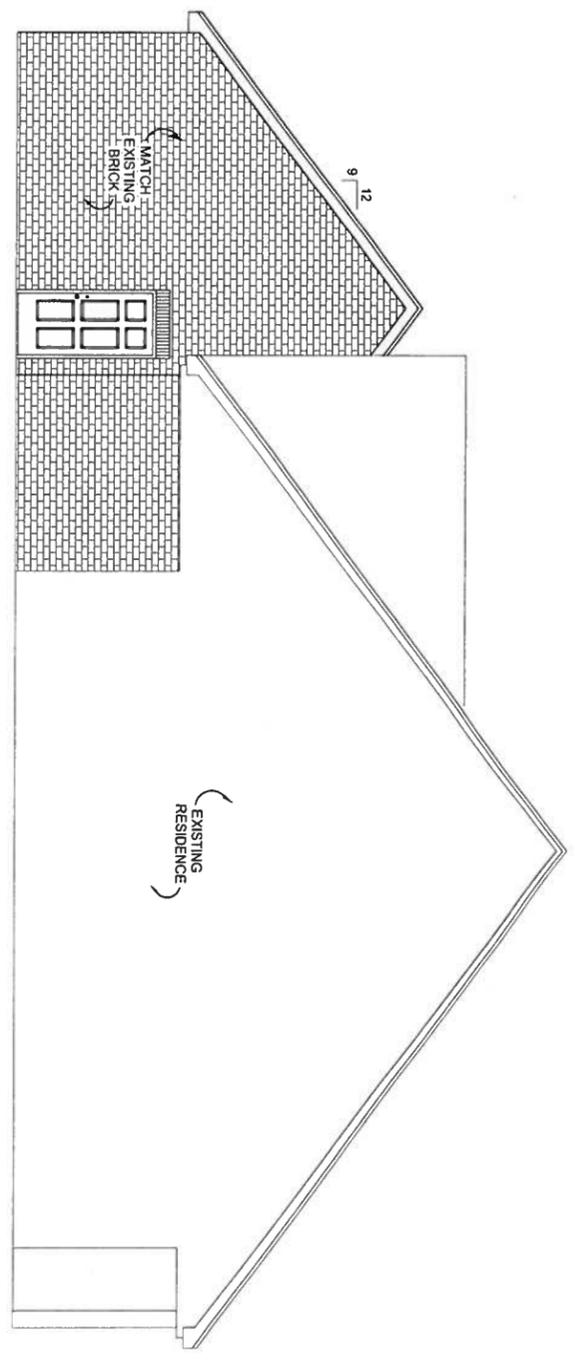


GENERAL NOTES

DOCUMENTS

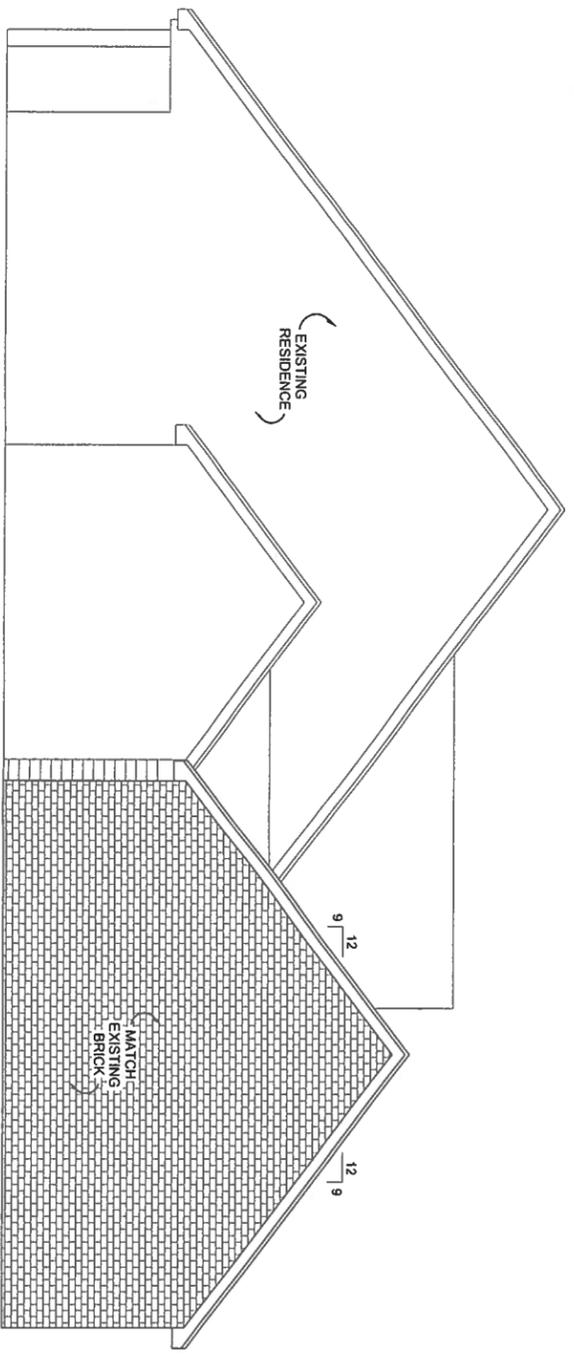
1. SEE DRAWING NO. 1 FOR GENERAL NOTES.

EXISTING  
ADDITION



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

SHEET 5 OF 10	PLAN NUMBER: 1467	DATE: 10-29-18	REVISION	NO.	PATIO ENCLOSURE: 410
			10-29-18 FOR CONSTRUCTION	0	ADDITION: 566
			11-30-18 MOVED ENTRY DOOR	1	
					976 SF



THOMAS GRANIER  
22698 N. ROSARY ST.  
VACHERIE, LA 70090



THESE PLANS ARE COPYRIGHTED DESIGN & AND PROPERTY OF : THIBODAUX DRAFTING & DESIGN, LLC  
ANY UNAUTHORIZED DUPLICATION OF INFORMATION OR DESIGN CONCEPTS CONTAINED WITHIN IS STRICTLY PROHIBITED.

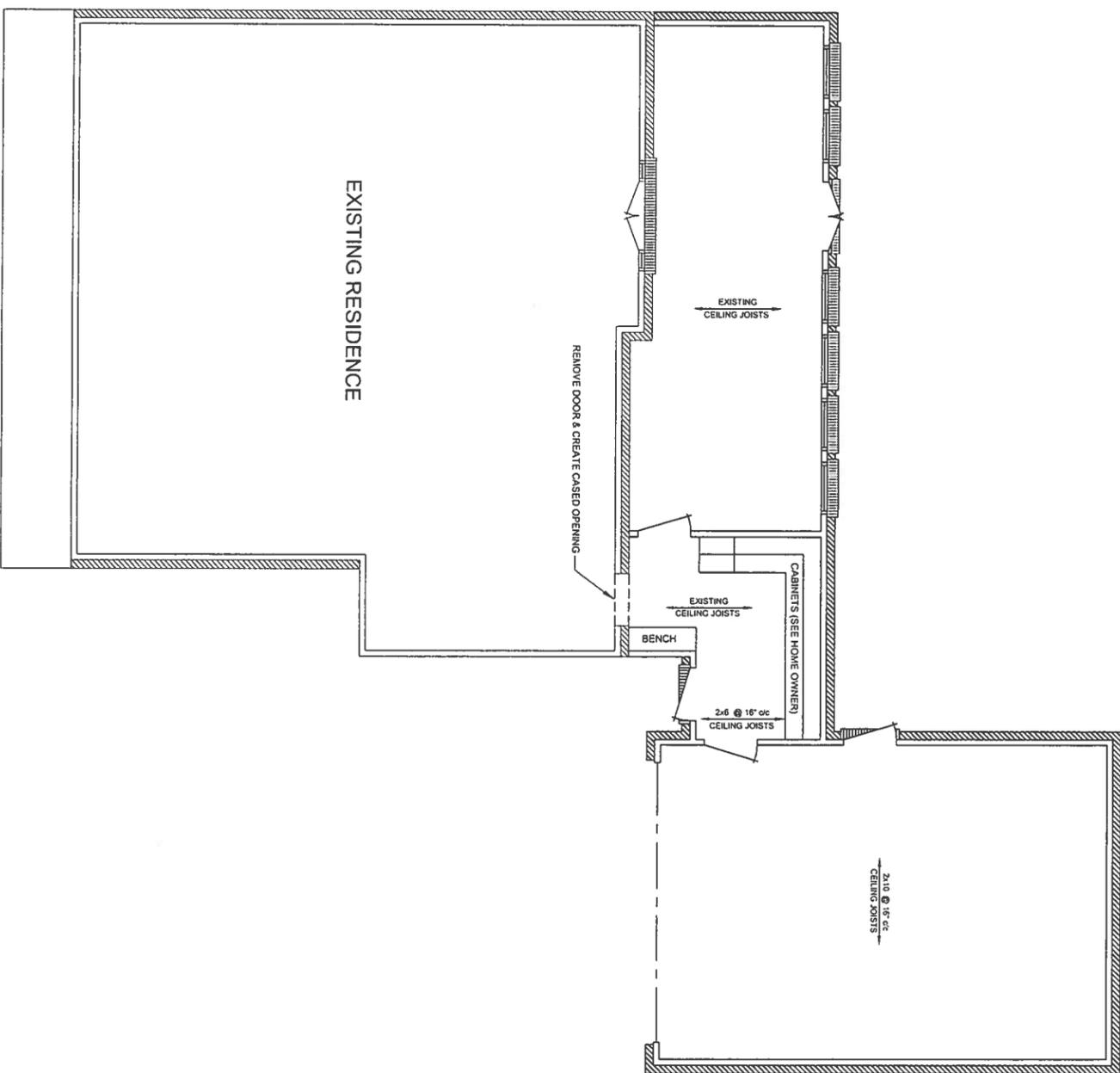
20-05

GENERAL NOTES

DOCUMENTS

1. SEE DRAWING NO. 1 FOR GENERAL NOTES.

EXISTING  
ADDITION



FRAMING PLAN  
SCALE: 1/4" = 1'-0"

SHEET 6 OF 10	PLAN NUMBER: 1467	DATE 10-29-18	REVISION FOR CONSTRUCTION	NO. 0	PATIO ENCLOSURE: 410
	DATE: 10-29-18		MOVED ENTRY DOOR	1	ADDITION: 566
					976 SF



THOMAS GRANIER  
22698 N. ROSARY ST.  
VACHERIE, LA 70090



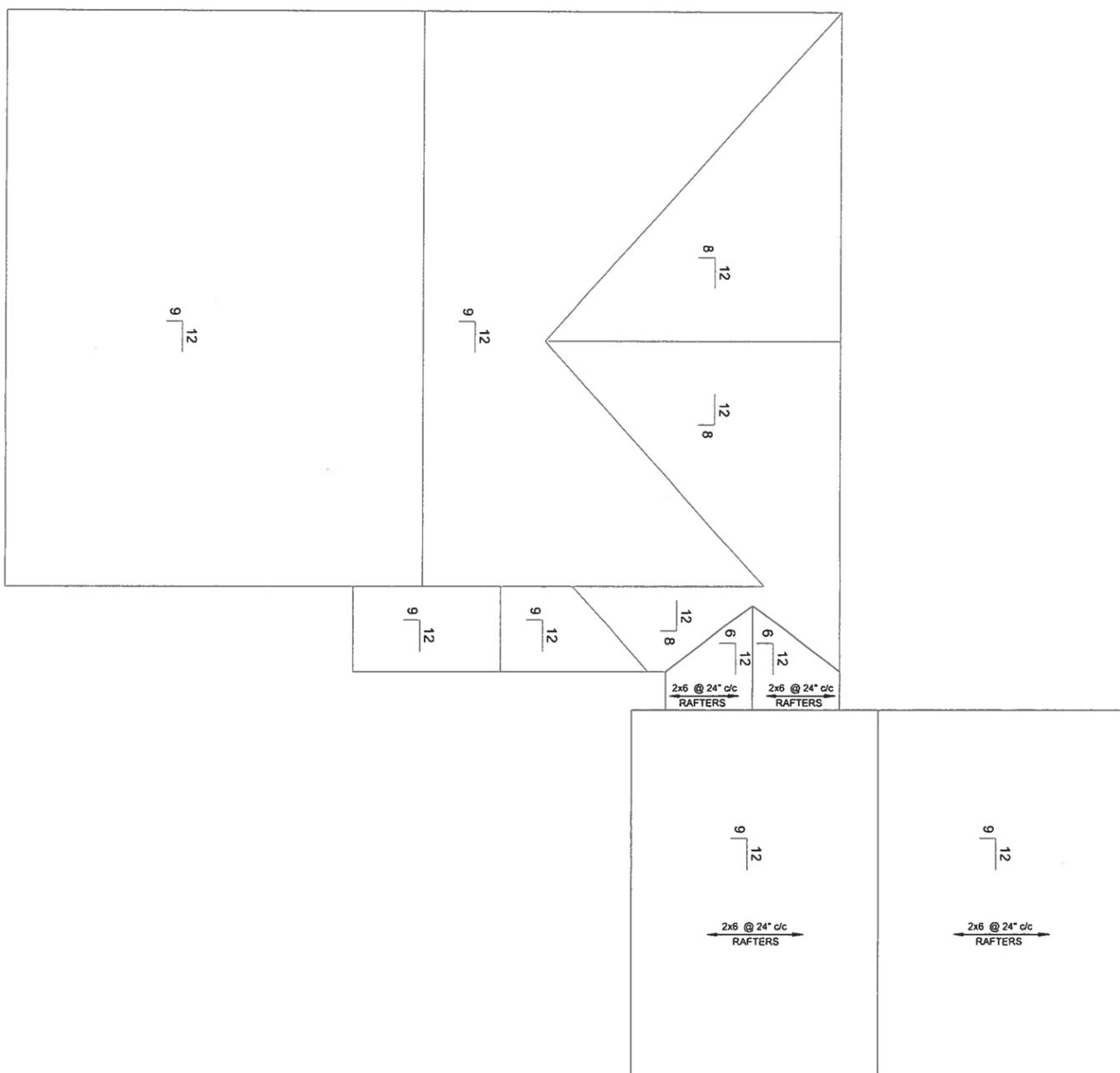
THESE PLANS ARE COPYRIGHTED  
DESIGN & AND PROPERTY OF:  
THIBODAUX DRAFTING & DESIGN, LLC  
ANY UNAUTHORIZED DUPLICATION  
OF INFORMATION OR DESIGN  
CONCEPTS CONTAINED WITHIN  
IS STRICTLY PROHIBITED.

GENERAL NOTES

DOCUMENTS

1. SEE DRAWING NO. 1 FOR GENERAL NOTES.

EXISTING  
ADDITION



ROOF PLAN  
SCALE: 1/4" = 1'-0"

SHEET	PLAN NUMBER:	DATE	REVISION	NO.	PATIO ENCLOSURE:
7 OF 10	1467	10-29-18	FOR CONSTRUCTION	0	410
		11-30-18	MOVED ENTRY DOOR	1	566
	DATE:	10-29-18			976 SF



THOMAS GRANIER  
22698 N. ROSARY ST.  
VACHERIE, LA 70090



THESE PLANS ARE COPYRIGHTED DESIGN AND PROPERTY OF : THIBODAUX DRAFTING & DESIGN, LLC  
ANY UNAUTHORIZED DUPLICATION OF INFORMATION OR DESIGN CONCEPTS CONTAINED WITHIN IS STRICTLY PROHIBITED.

**GENERAL NOTES**

**DOCUMENTS**  
1. SEE DRAWING NO. 1 FOR GENERAL NOTES.

**PLUMBING**

1. PLUMBING INSTALLATION & PROCEDURES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE LOCAL PLUMBING CODE IN EFFECT AT THE TIME OF CONSTRUCTION.
2. ALL PIPES SHALL BE 4 PIPES EXCEPT THE RESERVE AREA AND NOT BE VISIBLE FROM ANY OTHER EXTERIOR ELEVATION.
3. FINAL SIGN OFF AND PERMIT PLAN IS REQUIRED. THE BOARD OF HEALTH SHALL BE CONTACTED FOR PROPER INSTALLATION GUIDELINES.
4. WHEN COMMUNITY SEWERAGE IS AVAILABLE, THE LOCAL CONTRACTOR SHALL BE CONTACTED FOR CODE COMPLIANCE REQUIREMENTS.
5. ALL PLUMBING SHALL BE INSPECTED IN THE FIELD FOR CODE COMPLIANCE.

**CODE REFERENCE:**

LSPC - LOUISIANA STATE PLUMBING CODE - LATEST EDITION  
IRC - 2015 CHAPTERS 26 THROUGH 33

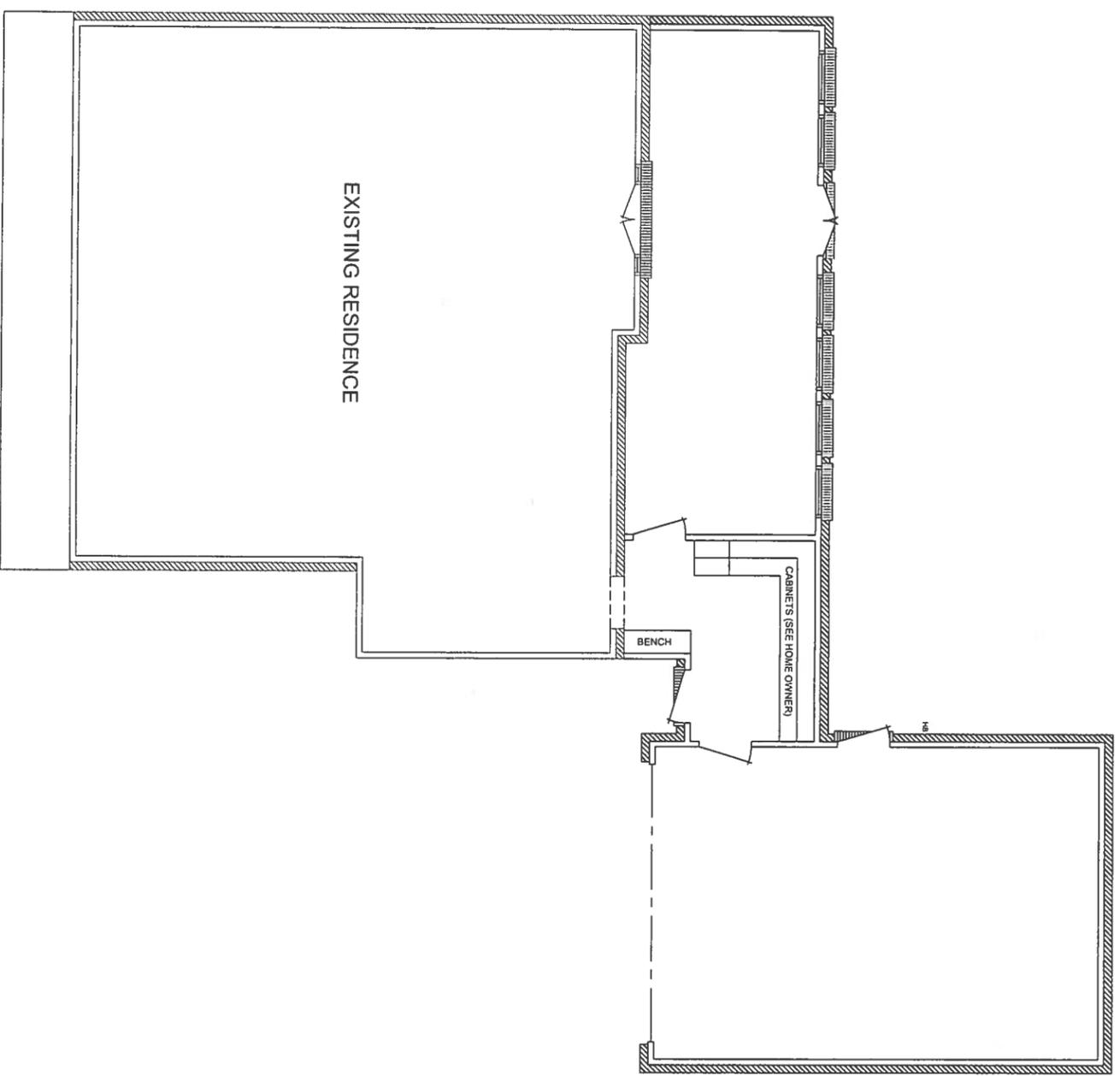
PLUMBING CONTRACTOR \_\_\_\_\_

CONTRACTOR'S LICENSE NUMBER \_\_\_\_\_

CONTRACTOR'S ADDRESS \_\_\_\_\_

CONTRACTOR'S PHONE: \_\_\_\_\_

EXISTING RESIDENCE  
EXISTING ADDITION



**PLUMBING SCHEMATIC**  
SCALE: 1/4" = 1'-0"

**SYMBOL LIBRARY**

- 1/4" HOSE BIB
- Ø GAS LINE
- 2000 TANKLESS WATER HEATER

SHEET 8 OF 10	PLAN NUMBER: <b>1467</b>	DATE: 10-29-18	REVISION	NO.	PATIO ENCLOSURE: 410
	DATE: 10-29-18	10-29-18	FOR CONSTRUCTION	0	ADDITION: 566
			MOVED ENTRY DOOR	1	
					<b>976 SF</b>



**THOMAS GRANIER**  
22698 N. ROSARY ST.  
VACHERIE, LA 70090



THESE PLANS ARE COPYRIGHTED DESIGN & AND PROPERTY OF THIBODAUX DRAFTING & DESIGN, LLC. ANY UNAUTHORIZED DUPLICATION OF INFORMATION OR DESIGN CONCEPTS CONTAINED WITHIN IS STRICTLY PROHIBITED.

**GENERAL NOTES**

**DOCUMENTS**  
1. SEE DRAWING NO. 1 FOR GENERAL NOTES.

**HVAC**

1. HVAC INSTALLATION PROCEDURES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MECHANICAL CODE IN EFFECT AT TIME OF CONSTRUCTION.
2. THIS MECHANICAL PLAN SHALL INCLUDE THE FOLLOWING:
  - CONTRACTOR:
  - MANUAL, J-FORM CALCULATIONS
  - EQUIPMENT & DUCTWORK LAYOUT.

**CODE REFERENCE:**

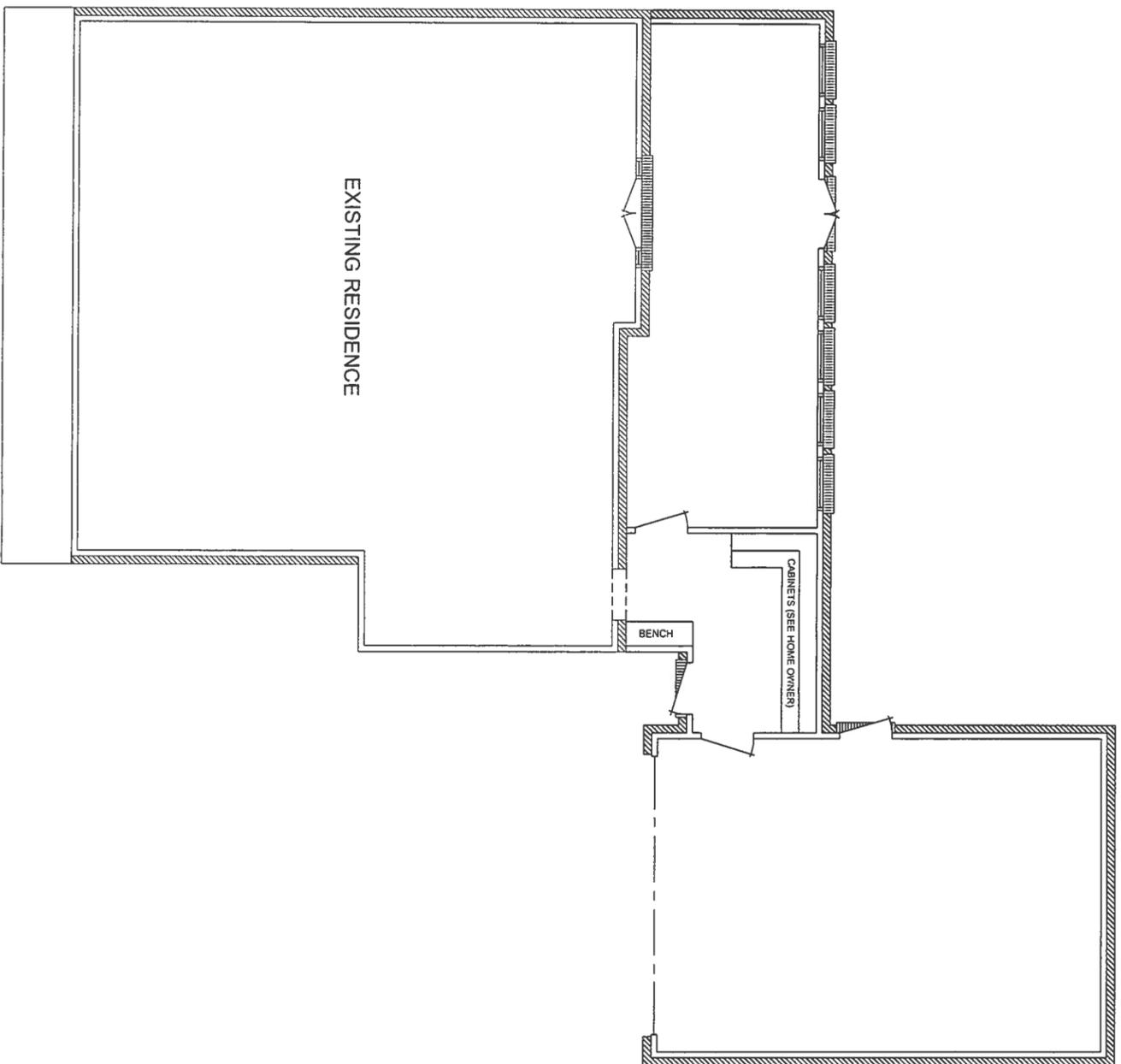
IRC - INTERNATIONAL MECHANICAL CODE - LATEST EDITION  
IRC - 2015 CHAPTERS 94 THROUGH 43  
HVAC CONTRACTOR

CONTRACTOR'S LICENSE NUMBER

CONTRACTOR'S ADDRESS

CONTRACTOR'S PHONE:

EXISTING  
ADDITION



**H.V.A.C. SCHEMATIC**

SCALE: 1/4" = 1'-0"

SHEET 9 OF 10	PLAN NUMBER: 1467	DATE: 10-29-18	REVISION	NO.	PATIO ENCLOSURE: 410	 <p>THIBODAUX DRAFTING &amp; DESIGN, LLC (985) 414-3492</p>	<p><b>THOMAS GRANIER</b> 22698 N. ROSARY ST. VACHERIE, LA 70090</p>		<p>THESE PLANS ARE COPYRIGHTED DESIGN &amp; AND PROPERTY OF THIBODAUX DRAFTING &amp; DESIGN, LLC ANY UNAUTHORIZED DUPLICATION OF INFORMATION OR DESIGN CONCEPTS CONTAINED WITHIN IS STRICTLY PROHIBITED.</p>
	DATE: 10-29-18	10-29-18 FOR CONSTRUCTION	0	ADDITION: 566	976 SF				

**GENERAL NOTES**

1. ALL DIMENSIONS ARE TO BE VERIFIED BEFORE CONSTRUCTION IS TO BEGIN. WARRANTY IS LIMITED TO CORRECTIONS ONLY. DO NOT SCALE DRAWINGS TO DETERMINE DIMENSIONS.
2. IT IS RECOMMENDED THAT THESE DRAWINGS & SPECIFICATIONS BE REVIEWED BY AN ARCHITECT OR ENGINEER FOR STRUCTURAL INTEGRITY PRIOR TO CONSTRUCTION.
3. THESE DRAWINGS & SPECIFICATIONS HAVE BEEN PREPARED AS A DRAFTING SERVICE ONLY. FROM INSTRUCTIONS BY THE OWNERS, THEREFORE, IT IS THE SOLE RESPONSIBILITY OF THE OWNERS AND THEIR CONTRACTOR FOR ANY OMISSIONS OR ERRORS CONTAINED HEREIN.
4. THESE NOTES APPLY TO ALL DRAWINGS OF THE SET

**DRAWING INDEX**

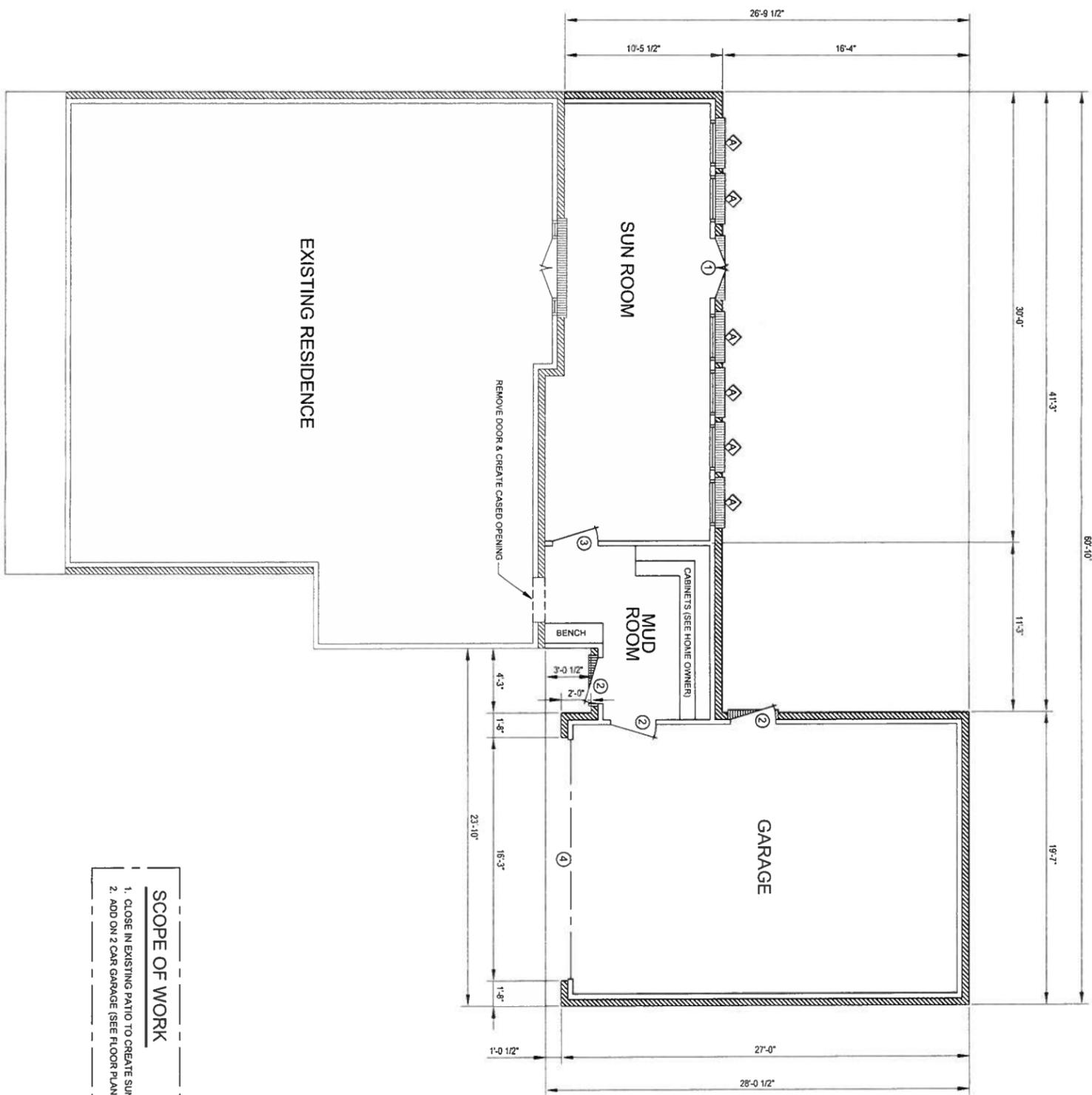
DRAWING NO.	DESCRIPTION
1 OF 10	FLOOR PLAN
2 OF 10	FOUNDATION PLAN
3 OF 10	ELECTRICAL PLAN
4 OF 10	FRONT & REAR ELEVATION
5 OF 10	LEFT SIDE & RIGHT SIDE ELEVATION
6 OF 10	FRAMING PLAN
7 OF 10	ROOF PLAN
8 OF 10	PLUMBING SCHEMATIC
9 OF 10	H.V.A.C. SCHEMATIC
10 OF 10	SITE PLAN
1 OF 3	INTERNATIONAL RESIDENTIAL CODE - TYPICAL DETAILS
2 OF 3	INTERNATIONAL RESIDENTIAL CODE - GENERAL SECTION
3 OF 3	INTERNATIONAL RESIDENTIAL CODE - GENERAL NOTES

**CODE REFERENCES USED:**  
 IRC: 2015 INTERNATIONAL RESIDENTIAL CODE  
 SSTD 10 99: 1999 GUIDELINES FOR HURRICANE RESISTANT RESIDENTIAL STRUCTURES  
 DESIGN WIND SPEED: V-ultimate = 160

**OPENING SCHEDULES** SEE DWG IRC-3 FOR DP RATINGS

NO.	SIZE	DESCRIPTION
1	4068	DBL HUNG EXTERIOR DOOR UNIT AS PER ALLOWANCE
2	3068	EXTERIOR DOOR UNIT AS PER ALLOWANCE
3	3068	INTERIOR DOOR UNIT AS PER ALLOWANCE
4		16V X 7H GARAGE DOOR UNIT AS PER ALLOWANCE
A	3060	DBL INSULATED VINYL WINDOW WITH 1/2 SCREEN

EXISTING  
 ADDITION



**SCOPE OF WORK**

1. CLOSE IN EXISTING PATIO TO CREATE SUNROOM & AUDROOM
2. ADD ON 2 CAR GARAGE (SEE FLOOR PLAN)

**FLOOR PLAN**

SCALE: 1/4" = 1'-0"  
 ALL CEILINGS 9' UNLESS NOTED

SHEET	PLAN NUMBER:	DATE	REVISION	NO.	PATIO ENCLOSURE:
1	1467	10-29-18	FOR CONSTRUCTION	0	410
OF		11-30-18	MOVED ENTRY DOOR	1	ADDITION: 566
10	DATE:	10-29-18			976 SF



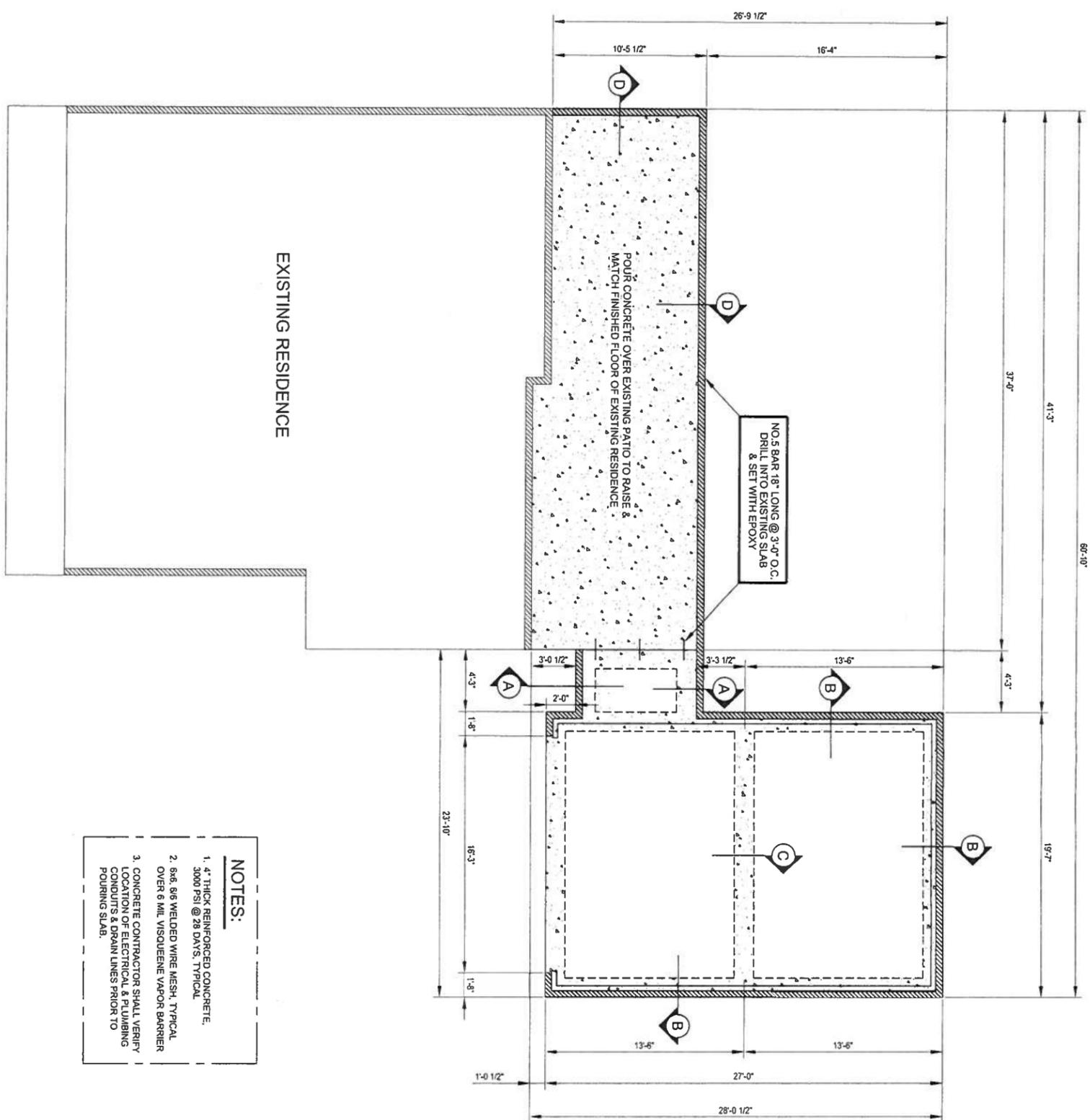
**THOMAS GRANIER**  
 22698 N. ROSARY ST.  
 VACHERIE, LA 70090



THESE PLANS ARE COPYRIGHTED DESIGN & AND PROPERTY OF: THIBODAUX DRAFTING & DESIGN, LLC  
 ANY UNAUTHORIZED DUPLICATION OR INFORMATION OR DESIGN CONCEPTS CONTAINED WITHIN IS STRICTLY PROHIBITED.

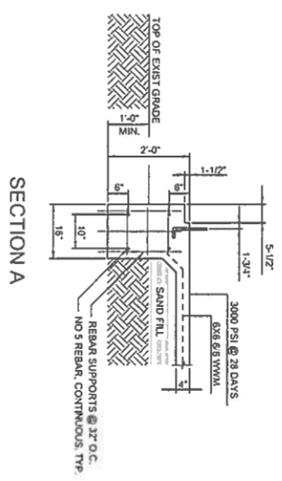
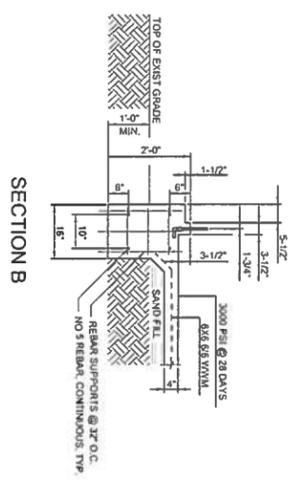
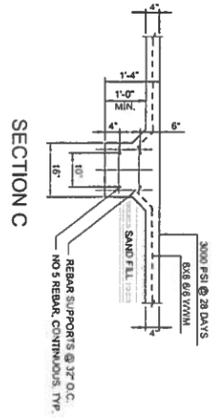
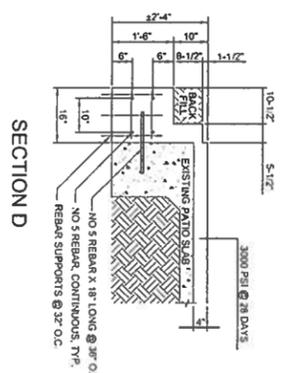
**CONCRETE NOTES:**

1. ALL CONCRETE SHALL BE 1500# PER CUBIC FOOT DENSITY AND SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3000PSI
2. ALL SLABS SHALL HAVE 4" THICK CONCRETE WITH 6#x 8# WIRE MESH OR #3 BARS 24" ON CENTER EACH WAY. ALL SLABS TO HAVE A 6 MIL WATERPROOF MEMBRANE OVER BONDED TYPICAL FINISHMENT.
3. FOOTING SHALL BE A MINIMUM OF 12 INCHES BELOW NATURAL UNDISTURBED SOIL PER IRC
4. FOOTING SHALL BE REINFORCED WITH 2 #5 BARS 6" ON CENTER EACH WAY. REINFORCEMENT SHALL BE PLACED 3" FROM THE BOTTOM
5. OVERLAP ALL REBARS 36 BAR DIAMETERS, MINIMUM
6. 6#M PLATES SHALL BE ANCHORED WITH 5#x 18" L.G. ANCHOR BOLT, W/ 1/2" LEG, SPACED 24" O.C. AND SHALL HAVE A 3" SQ. FLAT WASHER WITH HEX NUT.
7. FINER SAND OVER COMPACTED BASE SHALL BE USED WITH ALL FILL COMPACTED TO 95% MAX. SOIL DENSITY.
8. ALL AREAS WITHIN THE FOUNDATION WALLS SHALL BE PROTECTED FROM EXCESSIVE MOISTURE AND FOREIGN MATTER PER IRC
9. OWNER OR HIS AGENT IS RESPONSIBLE FOR FINAL DESIGN OF FOUNDATION AND INVESTIGATION OF EXISTING SOIL BEARING CONDITIONS.



- NOTES:**
1. 4" THICK REINFORCED CONCRETE, 3000 PSI @ 28 DAYS, TYPICAL
  2. 6#x 8# WELDED WIRE MESH, TYPICAL OVER 6 MIL. VISQUEENE VAPOR BARRIER
  3. CONCRETE CONTRACTOR SHALL VERIFY LOCATION OF ELECTRICAL & PLUMBING CONDUITS & DRAIN LINES PRIOR TO POURING SLAB.

**ELEVATION NOTE:** TOP OF CONCRETE ELEVATION SHALL BE DETERMINED IN ACCORDANCE WITH BASE FLOOD CERTIFICATE ISSUED BY A REGISTERED LAND SURVEYOR UNLESS REQUIRED OTHERWISE BY FEMA BASE FLOOD. TOP OF CONCRETE IS ASSUMED AT 12" ABOVE EXISTING GRADE. CONTRACTOR IS RESPONSIBLE TO DETERMINE FINAL T.O.C.



SHEET 2 OF 10	PLAN NUMBER:	DATE	REVISION	NO.	PATIO ENCLOSURE: 410 ADDITION: 566 976 SF
	1467	10-29-18	FOR CONSTRUCTION	0	
	DATE:				
	10-29-18		MOVED ENTRY DOOR	1	



THOMAS GRANIER  
22698 N. ROSARY ST.  
VACHERIE, LA 70090

THESE PLANS ARE COPYRIGHTED DESIGN & AND PROPERTY OF : THIBODAUX DRAFTING & DESIGN, LLC  
ANY UNAUTHORIZED DUPLICATION OF INFORMATION OR DESIGN CONCEPTS CONTAINED WITHIN IS STRICTLY PROHIBITED.

- ELECTRICAL**
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE QUALITY AND CORRECT SIZE OF ALL CIRCUITS AS WELL AS ALL OTHER ELECTRICAL WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LOCAL AS WELL AS THE NATIONAL ELECTRICAL CODES IN EFFECT AT TIME OF CONSTRUCTION.
  - LOCATION OF ELECTRIC METER & MAIN DISTRIBUTION PANEL SHALL BE DETERMINED BY THE CONTRACTOR AS PER LOCALLY ADOPTED BUILDING CODES.
  - ALL SMOKE DETECTORS ARE TO BE WIRED TO COME ON TOGETHER AND SHALL BE LOCATED PER IRC.
  - HEAVY VENT LIGHTS ARE TO BE VENTED TO OUTSIDE OF HOUSE.
  - LOCATED IN ATTIC.
  - ALL BEDROOMS SHALL HAVE AFI BREAKERS PER IRC.
  - ALL OUTLETS OVER NOTCHEN COUNTERTOPS, BATHROOMS, HAVE GROUND FAULT CIRCUIT INTERRUPT PROTECTION PER IRC.
- CODE REFERENCE:  
 IRC ASB CROSS REFERENCE  
 2014 NATIONAL ELECTRIC CODE

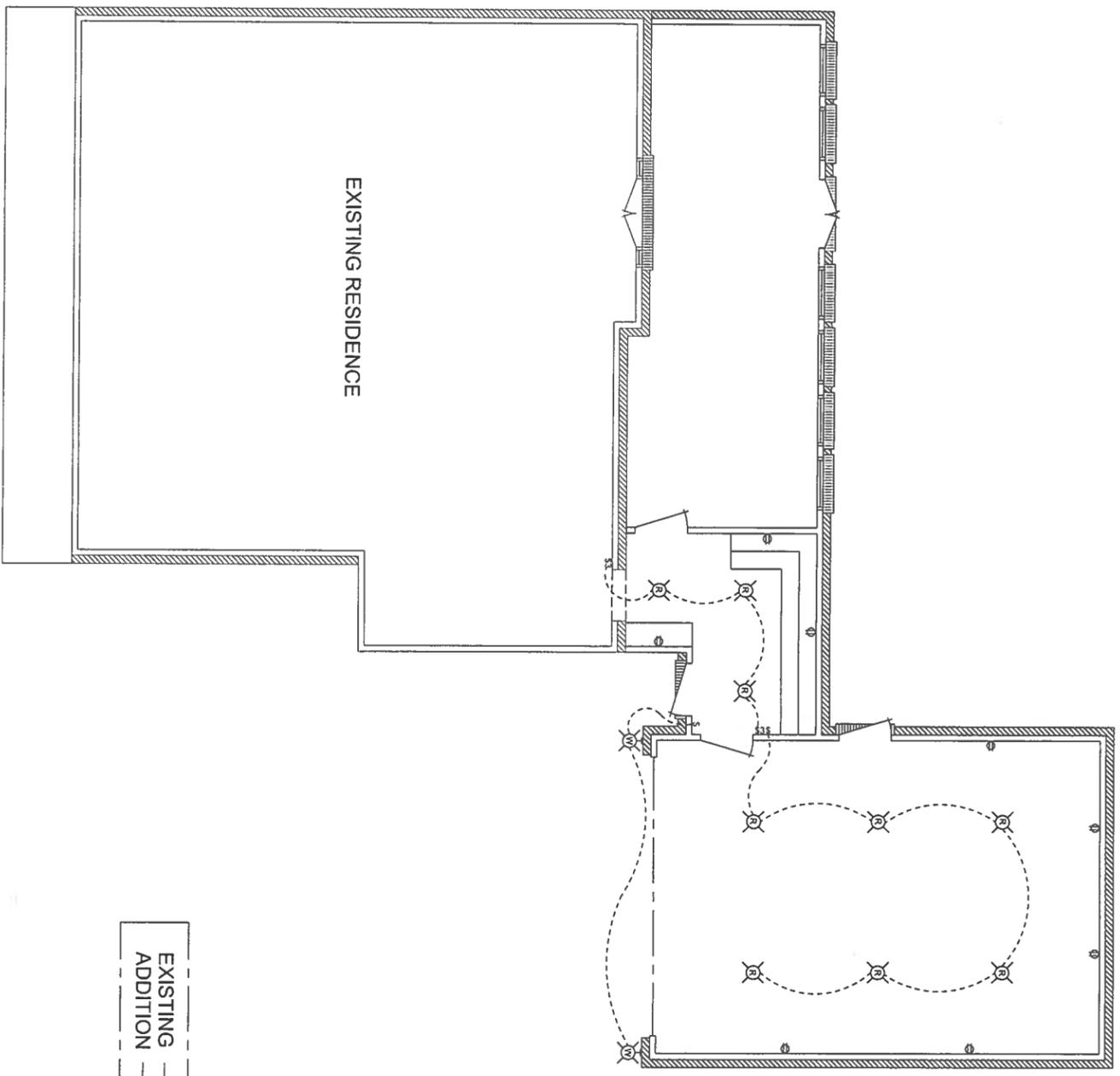
ELECTRICAL CONTRACTOR

CONTRACTOR'S LICENSE NUMBER

CONTRACTOR'S ADDRESS

CONTRACTOR'S PHONE:

- 110 V DUPLEX FLOOR RECEPTACLE
- 110 V DUPLEX RECEPTACLE
- 110 V FOURPR. EX RECEPTACLE
- CEILING MOUNTED 110 V DUPLEX RECEPTACLE
- 220 V RECEPTACLE
- 220 V DISCONNECT FOR A/C COMPRESSOR
- 110 V DUPLEX RECEPTACLE
- GROUND FAULT INSULATED CIRCUIT
- 110 V DUPLEX RECEPTACLE
- GROUND FAULT INSULATED CIRCUIT WITH WEATHERPROOF COVER
- TELEPHONE JACK
- TELEVISION CABLE JACK
- SMOKE DETECTOR
- DOOR BELL
- CARBON MONOXIDE DETECTOR PER IRC 2012 R315.1
- CHARGE DISPOSAL UNIT W/RCF
- 2 LIGHT 4 FT FLOURESCENT
- 4 LIGHT 4 FT FLOURESCENT
- SINGLE POLE SWITCH
- THREE-WAY SWITCH
- DIMMER SWITCH
- CEILING LIGHT FIXTURE
- PORCELAIN ATTIC LIGHT FIXTURE
- RECESSED DIRECTIONAL FIXTURE
- PENDANT-MOUNTED FIXTURE
- RECESSED FIXTURE AS PER OWNER
- WALL MOUNTED EXTERIOR GAS LIGHT FIXTURE
- WALL MOUNTED EXTERIOR LIGHT FIXTURE
- HANGING FIXTURE AS PER OWNER
- WALL MOUNTED SCENE LIGHT
- HEATER VENT LIGHT
- VENTED TO OUTSIDE OF HOUSE
- SOFFIT WALL
- FLOOD LIGHT WITH MOTION SENSOR
- CEILING FAN LIGHT
- CEILING FAN NO LIGHT
- HVAC CONDENSING UNIT W/ DISCONNECT
- STAND BY GENERATOR TRANSFER SWITCH



**ELECTRICAL PLAN**  
 SCALE: 1/4" = 1'-0"

EXISTING  
 ADDITION

MAIN DISTRIBUTION PLANE(S)  
 SIZED BY ELECTRICAL CONTRACTOR  
 LOCATION DETERMINED BY SERVICE PROVIDER

SHEET 3 OF 10	PLAN NUMBER: 1467	DATE: 10-29-18	REVISION	NO.	PATIO ENCLOSURE: 410
	DATE: 10-29-18	10-29-18	FOR CONSTRUCTION	0	ADDITION: 566
			MOVED ENTRY DOOR	1	976 SF



**THOMAS GRANIER**  
 22698 N. ROSARY ST.  
 VACHERIE, LA 70090



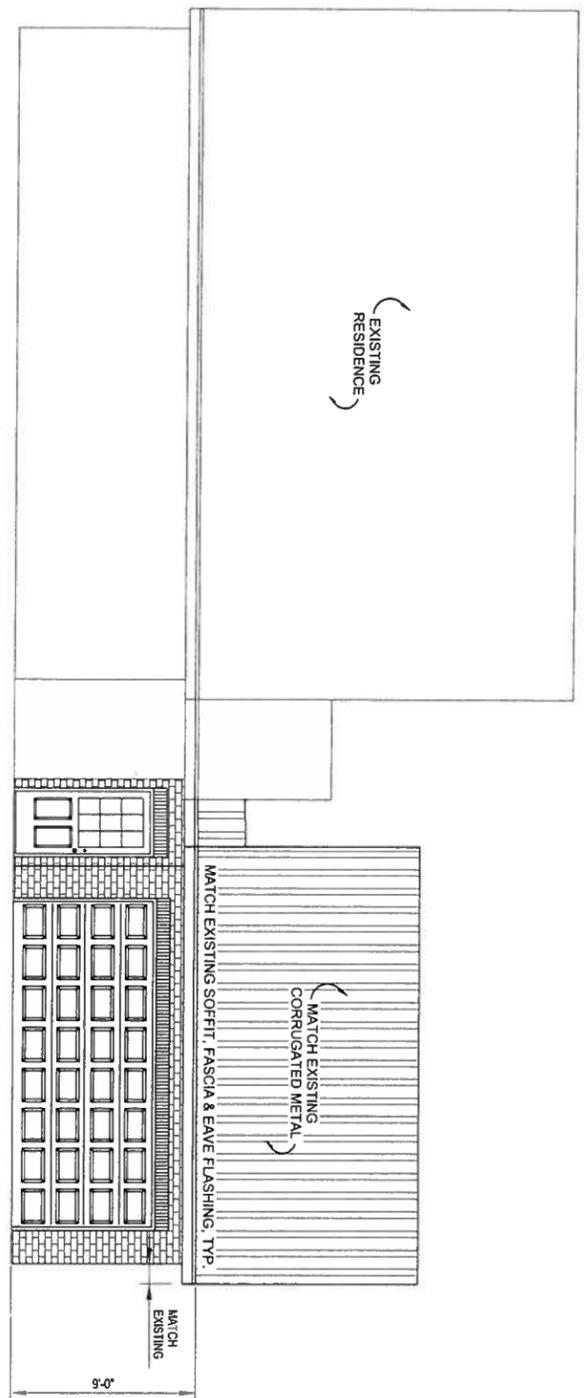
THESE PLANS ARE COPYRIGHTED DESIGN & AND PROPERTY OF THIBODAUX DRAFTING & DESIGN, LLC. ANY UNAUTHORIZED DUPLICATION OF INFORMATION OR CONCEPTS CONTAINED WITHIN IS STRICTLY PROHIBITED.

GENERAL NOTES

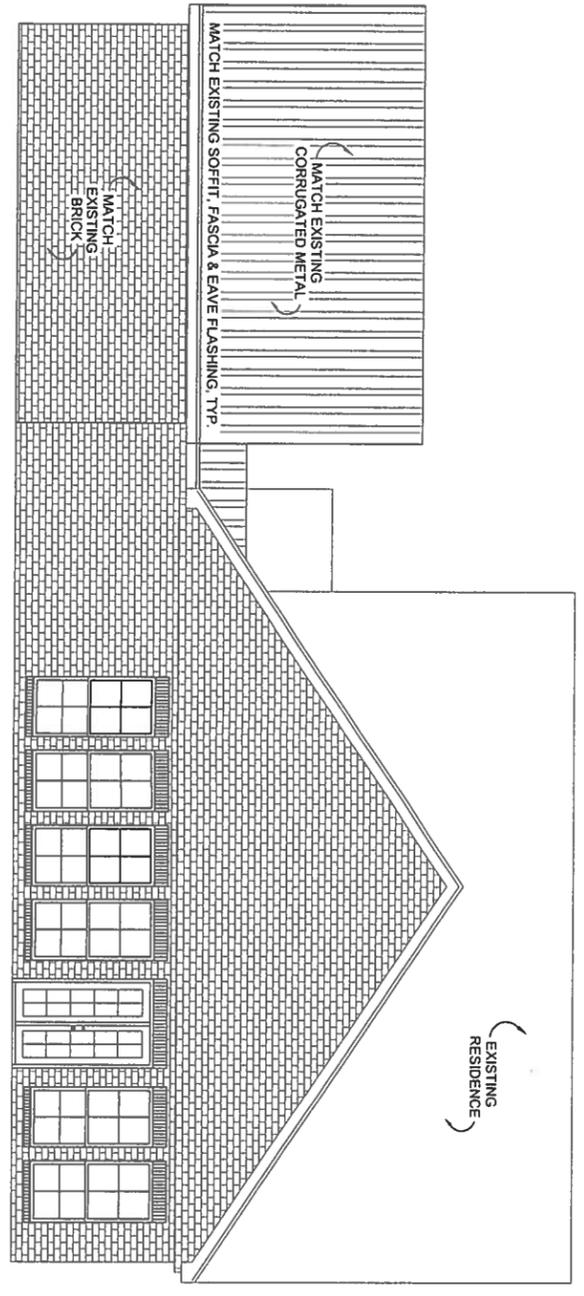
DOCUMENTS

1. SEE DRAWING NO. 1 FOR GENERAL NOTES.

EXISTING  
ADDITION



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"

SHEET 4 OF 10	PLAN NUMBER:	DATE	REVISION	NO.	PATIO ENCLOSURE: 410
	1467	10-29-18	FOR CONSTRUCTION	0	ADDITION: 566
	DATE:	11-30-18	MOVED ENTRY DOOR	1	
	10-29-18				976 SF



THOMAS GRANIER  
22698 N. ROSARY ST.  
VACHERIE, LA 70090



THESE PLANS ARE COPYRIGHTED  
DESIGN AND PROPERTY OF:  
THIBODAUX DRAFTING & DESIGN, LLC  
ANY UNAUTHORIZED DUPLICATION  
OF INFORMATION OR DESIGN  
CONCEPTS CONTAINED WITHIN  
IS STRICTLY PROHIBITED.

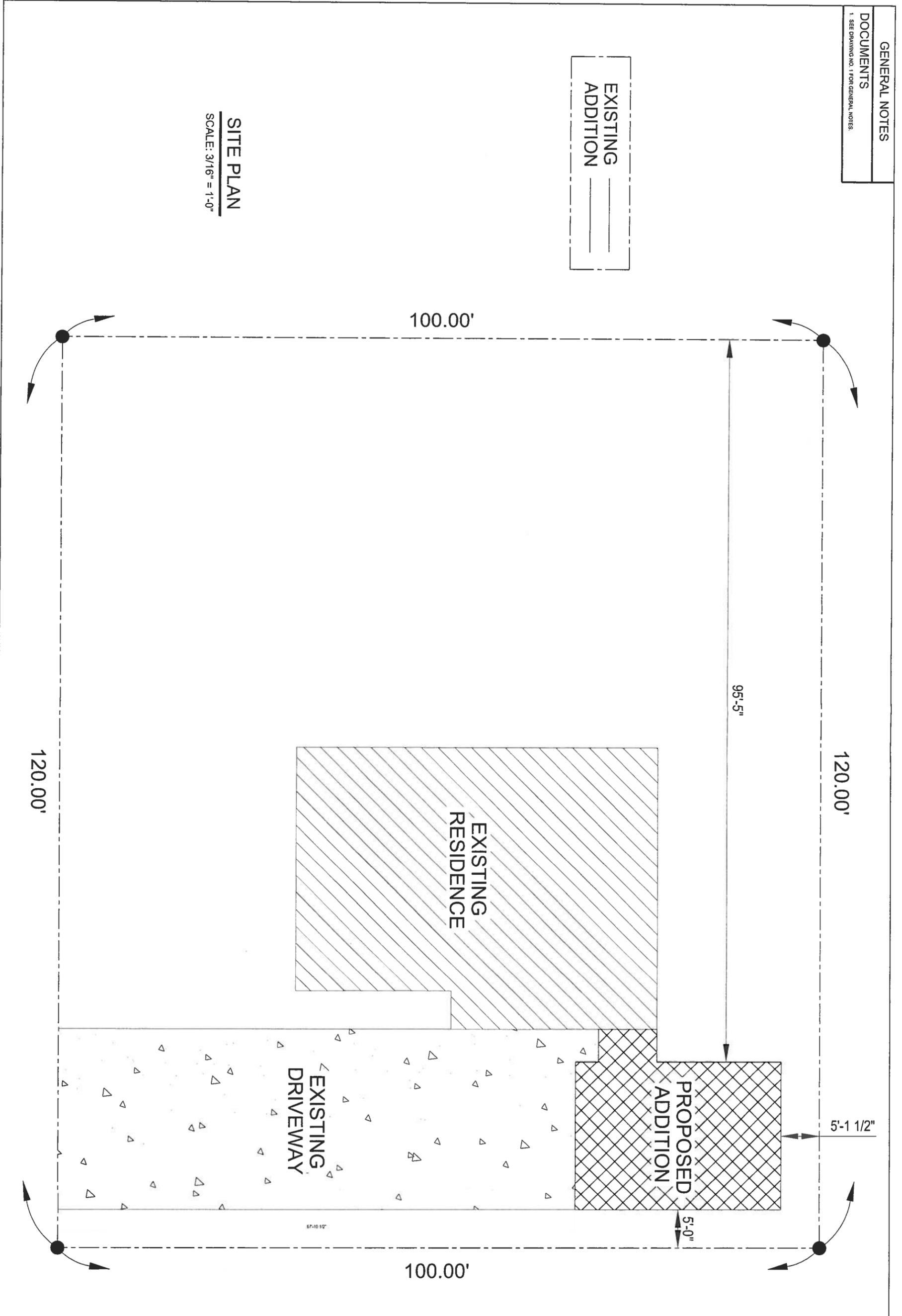
GENERAL NOTES

DOCUMENTS

1. SEE DRAWING NO. 1 FOR GENERAL NOTES

EXISTING  
ADDITION

SITE PLAN  
SCALE: 3/16" = 1'-0"



SHEET	PLAN NUMBER:	DATE	REVISION	NO.	PATIO ENCLOSURE: 410
10	1467	10-29-18	FOR CONSTRUCTION	0	
OF		11-30-18	MOVED ENTRY DOOR	1	ADDITION: 566
10					

DATE:	976 SF
10-29-18	

976 SF



THOMAS GRANIER  
22698 N. ROSARY ST.  
VACHERIE, LA 70090



THESE PLANS ARE COPYRIGHTED DESIGN & AND PROPERTY OF: THIBODAUX DRAFTING & DESIGN, LLC  
ANY UNAUTHORIZED DUPLICATION OF INFORMATION OR DESIGN CONCEPTS CONTAINED WITHIN IS STRICTLY PROHIBITED.

**Carlos Labadia**

---

**From:** Eric Wolverton <eric.wolverton@stjamesparishla.gov>  
**Sent:** Tuesday, November 26, 2019 9:30 AM  
**To:** Carlos Labadia; Eric Wolverton; Blaise Gravois  
**Cc:** Marrill McKarry  
**Subject:** Re: Plains Marketing L.P.

Carlos,

Based on the survey you provided, the rail additions to the existing rail would not require a special floodplain development permit. If in the future you plan to make further additions or modifications, please submit your plans to the parish for review.

If your activities include enclosed structures, switch buildings, equipment sheds, temporary office trailers, electrical equipment, etc., then you must apply for a building permit. Depending on the flood zone and ground elevation, an elevation certificate may also be required.

If you have any other questions, please don't hesitate to contact me. Thank you.

Eric Wolverton  
Floodplain Manager

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

**From:** Carlos Labadia <clabadia@groundwater-associates.com>  
**Date:** 11/22/19 9:13 AM (GMT-06:00)  
**To:** Eric Wolverton <eric.wolverton@stjamesparishla.gov>, Blaise Gravois <blaise.gravois@stjamesparishla.gov>  
**Cc:** Marrill McKarry <marrill.mckarry@stjamesparishla.gov>  
**Subject:** RE: Plains Marketing L.P.

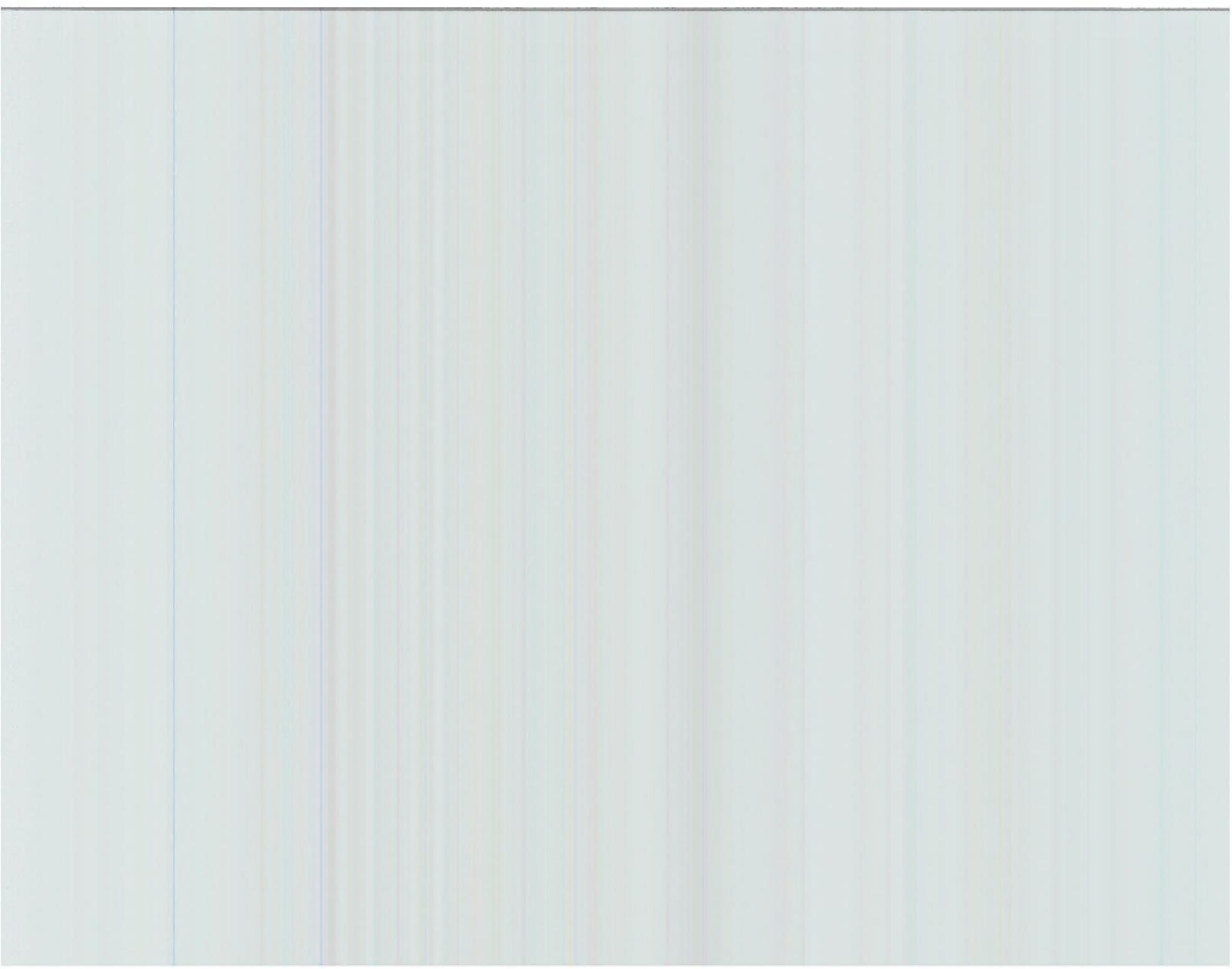
Greetings Mr. Wolverton,

Attached is the map layout. I will send lat./long shortly.

Thank you

**Carlos F. Labadia, CPESC**  
**Principal**  
**Groundwater Associates LLC**  
16131 13 Mile Road  
Battle Creek, MI 49014  
269-244-5400  
616-901-8040  
clabadia@groundwater-associates.com  
www.groundwater-associates.com

## Attachment 4



Menu  
Add Point Base Maps Instruction

Permit Results

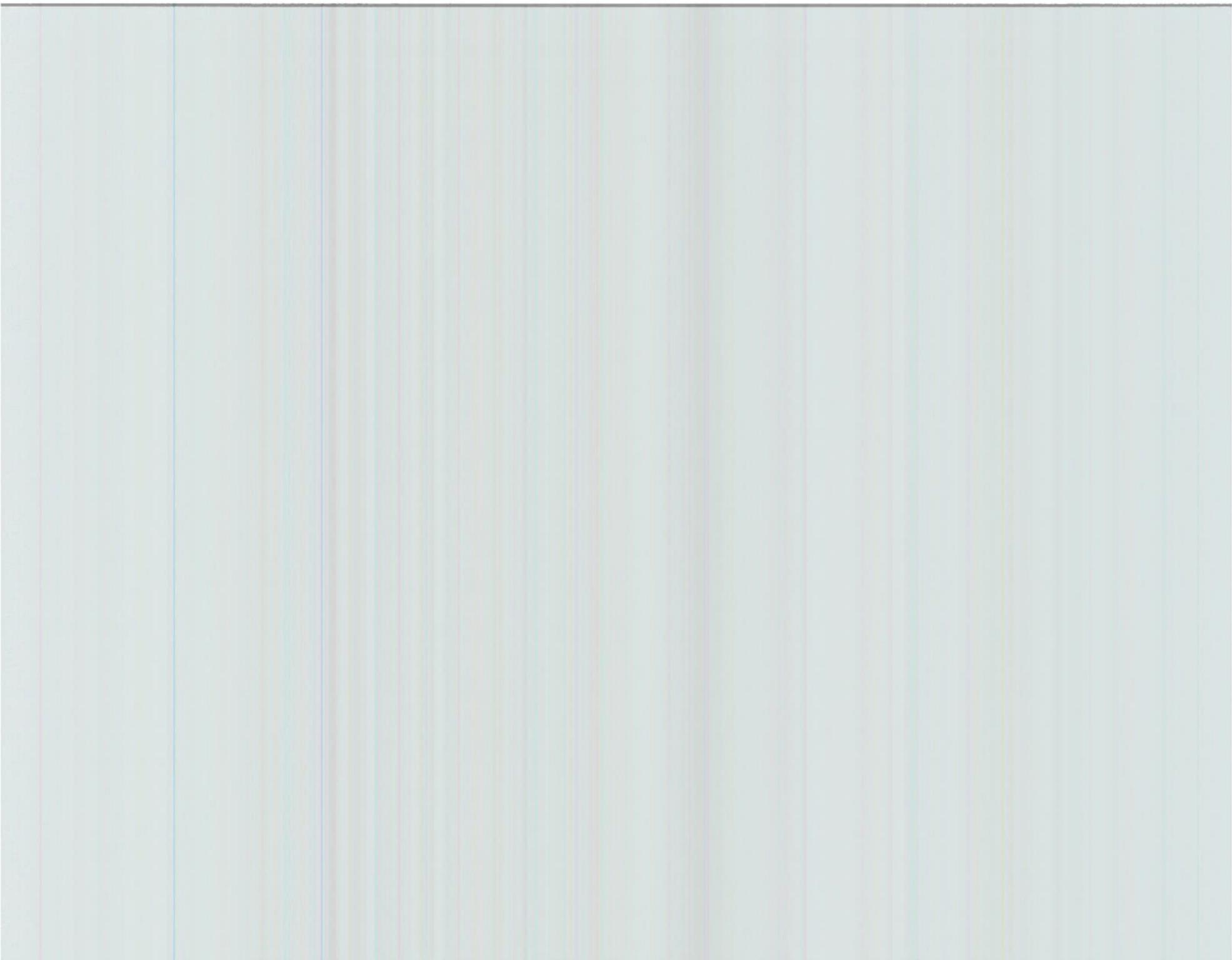
A Coastal Use Permit application need not be submitted for the proposed project unless that project would likely have significant adverse impacts to coastal resources located outside of the proposed project area footprint. Although a Coastal Use Permit is not required for this activity, OCM advises users to contact the Regulatory Branch at the U.S. Army Corps of Engineers to ensure compliance with their program. [Click here](#) for contact information.

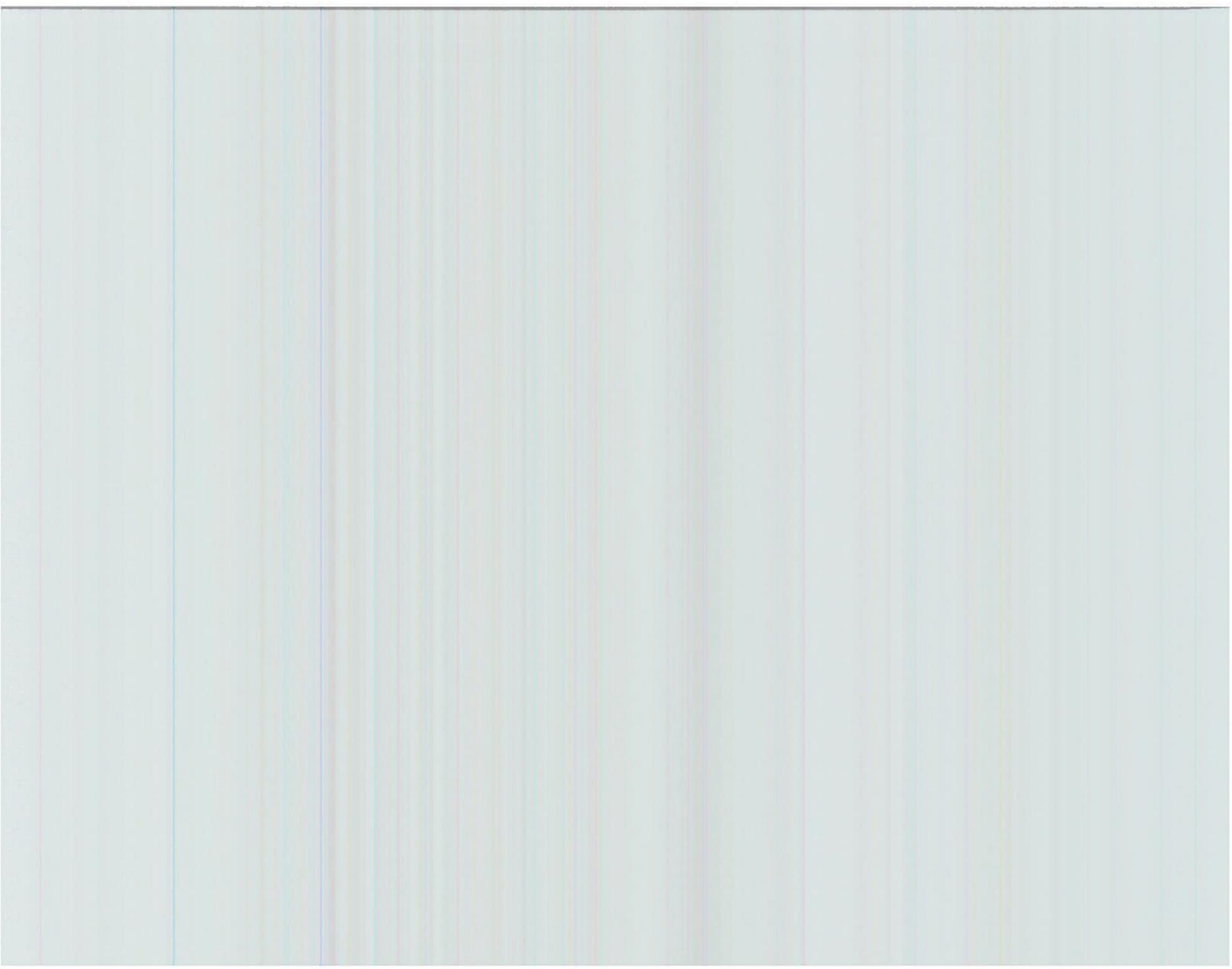
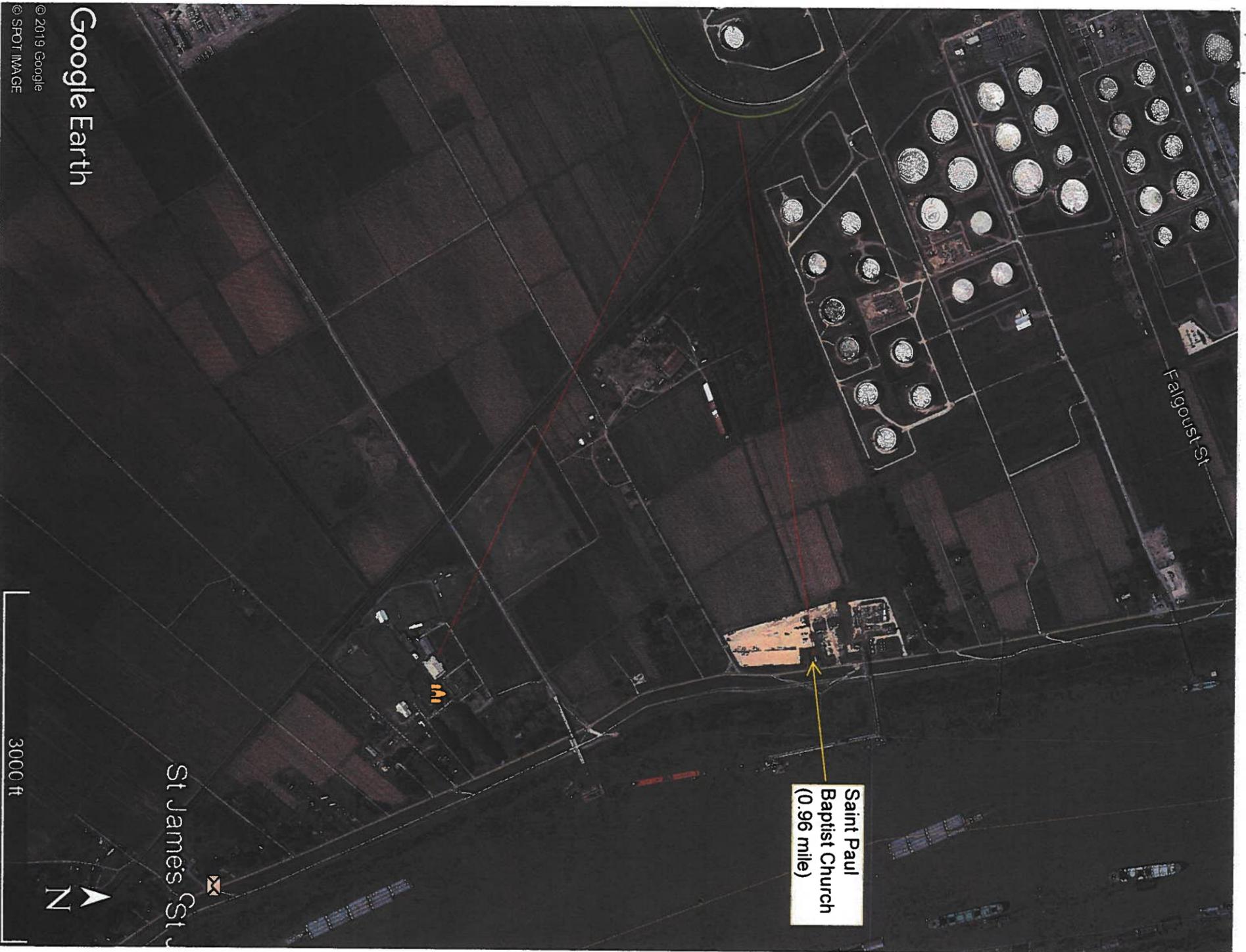
Project Extent (0) 250 Check Permit Requirement

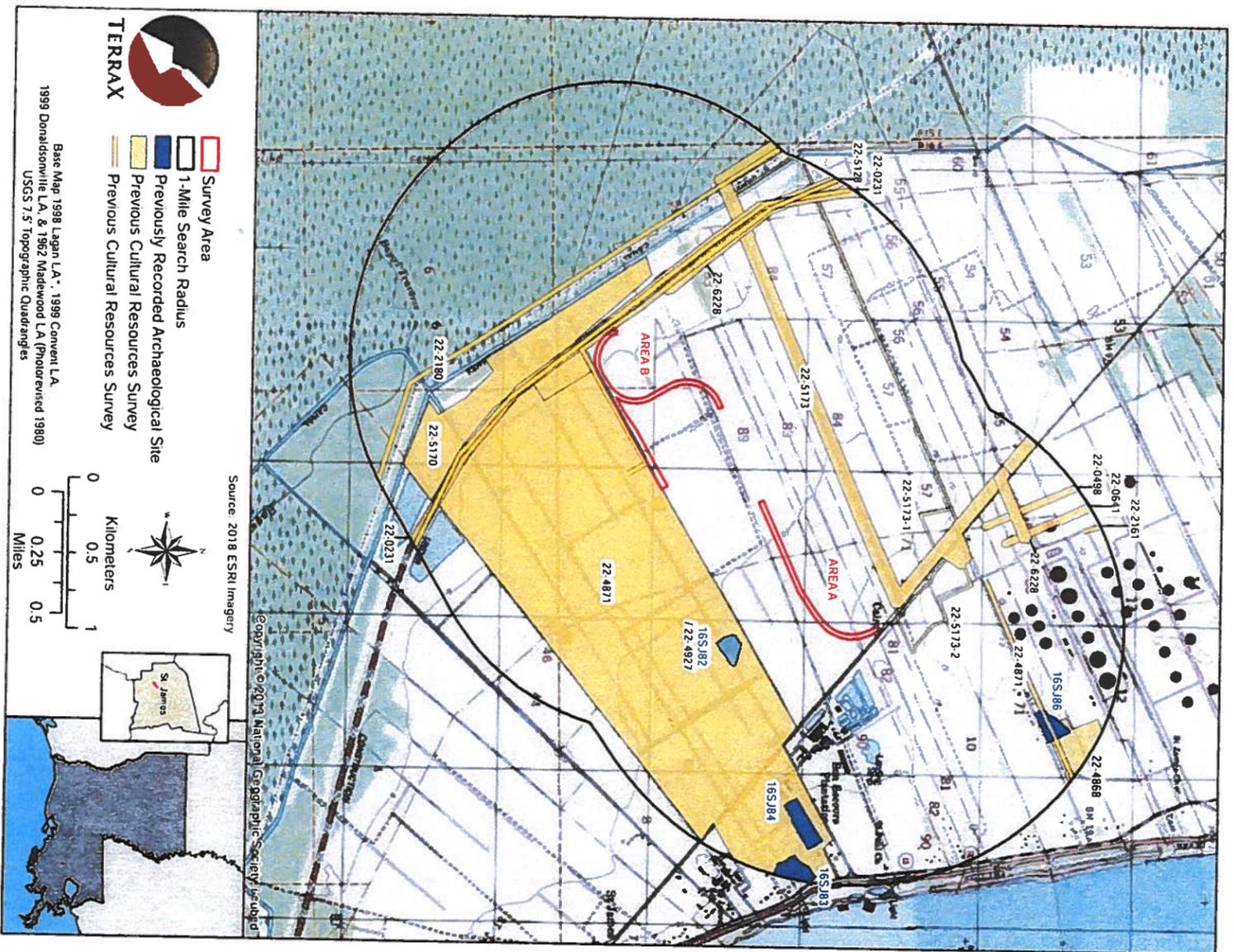
USDA FSA, DroughtDial, GeoVista, CIESA/Ames, DSI, Ent, HERP, Gamma, IJK

Legend

# **Attachment 5**







CHAPTER 3  
PREVIOUS INVESTIGATIONS

LITERATURE AND DOCUMENT SEARCH

Background research was conducted prior to the survey to identify previously recorded historic and prehistoric properties within a one-mile radius of the proposed St. James Methanol Rail project located in St. James Parish, Louisiana. This search included an online query of the Louisiana Site Files (Louisiana Division of Archaeology [LDOA] 2019). A one-mile (1.6 km) radius search was conducted around the proposed project area for previously recorded archaeological sites and previous cultural resources surveys. Lastly, a query into the National Register of Historic Places (NRHP) (National Park Service 2019) was conducted.

A search of the Phase I Surveys database maintained by LDOA (2019) identified 14 surveys and four previously recorded archaeological sites within a mile of the study area (Table 3.1; Figure 3.1). No NRHP-listed properties are within a mile of the project area.

Table 3.1. Previous surveys within one mile of the proposed project area.

LDOA Number	Acreage	Report Title	Author & Date
22-0231	unknown	State Project Nos. 428-01-01 & 428-03-04; State Project Nos. 428-02-01 & 428-03-04; State Project No. 848-01-07	Rivet 1976
22-0498	unknown	Cultural Resource Survey and Assessment of the Proposed Marathon Pipe Line Company 30" St. James to Garyville, Louisiana Pipeline Route, St. John the Baptist and St. James Parishes, Louisiana	Beavers & Chatelein 1979
22-0641	unknown	Cultural Resource Survey and Assessment of the Proposed Marathon Pipe Line Company 30" St. James to Garyville, Louisiana Pipeline Route, St. John the Baptist and St. James Parishes, Louisiana	Beavers & Chatelein 1979
22-2161	108.4	Cultural Resources Survey of the Proposed Route of a Pipeline in Ascension, East Baton Rouge, Iberville, St. James, and West Baton Rouge Parishes, Louisiana	Jones et al. 1998
22-2180	950.7	Phase I Cultural Resources Survey and Inventory of a 780 km (48.5 mi) Segment of the Proposed 159.0 km (98.9 mi) Koch Pipeline Southeast, Inc., Pascagoula Pipeline Project, Assumption, St. James, St. John the Baptist, St. Charles, and St. Tammany Parishes, Louisiana	Athens 1998
22-4868	1,235	Phase I Cultural Resources Survey and Inventory of a 780 km (48.5 mi) Segment of the Proposed 159.0 km (98.9 mi) Koch Pipeline Southeast, Inc., Pascagoula Pipeline Project, Assumption, St. James, St. John the Baptist, St. Charles, and St. Tammany Parishes, Louisiana	Rothrock III & Moreno 2015
22-4871	920	Phase I Cultural Resources Survey of the Proposed Yuhuang Chemical Inc. American 1800KTA Per Year Methanol Project in St. James Parish, Louisiana	Leben 2015
22-4927	920	Phase II Archaeological Testing and Evaluation of Site 16SJB2, St. James Parish, Louisiana	Cropley 2015
22-5128	7.3 miles	Phase I Cultural Resources Survey of the Proposed St. James Pipeline, St. James Parish, Louisiana	Helmer 2016
22-5170	352	A Cultural Resource Survey for a Proposed Lateral Meter and Regulator Station and Two Compressor Stations in St. James and St. Helena Parishes, Louisiana	Kennedy & Hearn 2016
22-5173	2,110.37	Final Report: A Phase I Cultural Resources Survey of the Bayou Bridge Pipeline, LLC Bayou Bridge Pipeline Project, Acadia, Assumption, Calcasieu, Iberia, Jefferson Davis, Lafayette, St. Martin, St. James, and Vermillion Parishes, Louisiana	Overfield 2016
22-5173-1	2,088.70	Final Report Addendum I: A Phase I Cultural Resources Survey of the Bayou Bridge Pipeline, LLC Bayou Bridge Pipeline Project, Acadia, Assumption, Calcasieu, Iberia, Iberville, Jefferson Davis, Lafayette, St. Martin, St. James, and Vermillion Parishes, Louisiana	Overfield 2016
22-5173-2	2,088.70	Final Report Addendum II: A Phase I Cultural Resources Survey of the Bayou Bridge Pipeline, LLC Bayou Bridge Pipeline Project, Acadia, Assumption, Calcasieu, Iberia, Iberville, Jefferson Davis, Lafayette, St. Martin, St. James, and Vermillion Parishes, Louisiana	Overfield 2016
22-6228	2,183.90	Phase I Cultural Resources Inventory of the Proposed LOCAP to St. James and Swoish Pipeline Projects, St. James and Lafourche Parishes, Louisiana	Boyko et al. 2019

Item  
20-01  
Research

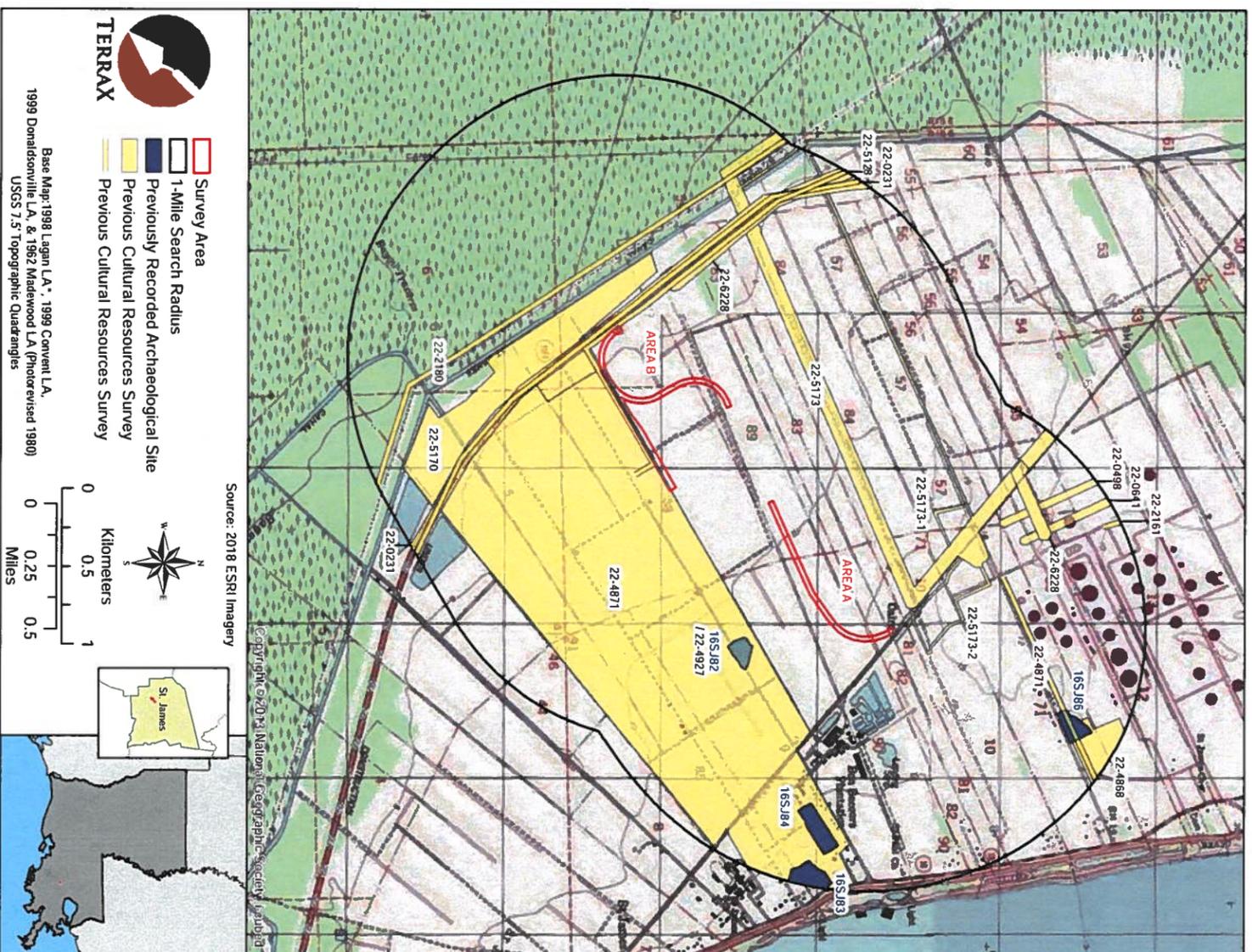


Figure 3.1. Map showing previous sites and surveys within a one-mile radius of the project area.

Site 16SJ82 was recorded in 2014 by R. Christopher Goodwin & Associates, Inc. as an early to mid-twentieth century sugarmill foundation and partially collapsed pole barn with an associated artifact scatter. The artifacts indicated a late nineteenth century component as well. Further work was recommended. Researchers returned in 2015 to conduct Phase II work, which included intensive shovel testing and mechanical trenching. Fourteen features were identified and the site was found to be associated with the Bon Secours Plantation. The site was determined to have potential and avoidance was recommended.

Sites 16SJ83 and 16SJ84 were also recorded in 2014 by Goodwin. They were identified as artifact scatters associated with a plantation. Both sites were extensively disturbed by agricultural activities and no additional work was recommended.

Site 16SJ86 was recorded by SWCA Environmental Consultants in 2014. The mid-nineteenth to early twentieth century site included an artifact scatter and a collapsed structure. A revisit in 2015 by Goodwin expanded the boundary and more work was recommended, even though SWCA stated there was no research potential. Cultural Resource Analysts, Inc. revisited the site in 2016 and pronounced the site as disturbed with no intact deposits. They also state that SHPO wants further work at the site.



## CHAPTER 4 METHODOLOGY

### STANDING STRUCTURES

Historic maps were reviewed before the fieldwork was accomplished to ascertain the presence or absence of possible historic resources within the project area. No structures appear on historic maps within the project area. Field reconnaissance corroborated that there are no standing structures within the project area. No listed NRHP properties are located within a mile of the project area.

### ARCHAEOLOGICAL FIELD METHODS

The field survey conducted implemented standard archaeological survey techniques. Full land coverage requirements were achieved through visual inspections of the entire survey area and subsurface testing. While conducting visual inspections, any exposed surfaces were carefully examined for cultural material.

Subsurface testing was comprised of shovel tests spaced 30 m apart. Standard shovel tests consist of 30 centimeter (cm) diameter cylindrical holes excavated to the top of the sterile subsoil layer or until the water table or other obstruction was encountered. Soils from each test are screened through 1/4-inch (0.64 cm) hardware cloth for the purpose of recovering any cultural material that may exist at that location. When cultural material is encountered, the material is sorted by provenience and placed into bags labeled with the pertinent excavation information before being transported to TerraX's laboratory. If cultural material is identified during transecting, it is further examined in order to better define its horizontal and vertical limits. Delineations are conducted by placing additional shovel tests around positive tests. These additional tests are placed at 10 m intervals off of the original positive tests or cultural features in cardinal directions within the project area. This testing is conducted until two negative shovel tests are encountered in each direction or until delineations extend beyond the project boundary. A hand held Garmin GPS unit is used to record the site center and a sketch map is drawn by compass and pace and plotted to scale. Digital photographs are taken for any site recorded as well as for the survey area. For the St. James Methanol Rail project, 97 shovel tests were attempted (Figure 4.1). Seven could not be excavated due to gravel or standing water. The remaining 90 tests were negative.

### LABORATORY METHODS

All cultural materials recovered during field projects are delivered to TerraX's laboratory in Mobile, Alabama for processing. Upon initial receipt of materials and field forms, bag lists are entered into a computer database for use with a labeling program. Materials are cleaned and, if necessary, stabilized before classification and quantification by laboratory analysts. Cultural materials are sorted on the basis of morphologic attributes, raw-material type (i.e., chert, quartz, etc.), measurements, and/or function. Previously defined types are often used to facilitate chronological assessments and intrasite comparisons. No material was recovered during this investigation.

### CURATION

Along with any cultural material, all project records, photographs, and maps produced while conducting the investigation are transported for curation at the Troy University Archaeological Research Center, Troy, Alabama (Appendix A).



## CHAPTER 5 RESULTS

### OVERVIEW

This Phase I investigation included the placement of 129 shovel tests (see Figure 4.1). All were tested at 30-m high probability intervals, with 119 negative for cultural material and 10 unable to be excavated due to gravel or standing water. A typical shovel test consisted of 10 cm of grayish brown (10YR 5/2) silty clay over gray (10YR 4/1) oxidized clay subsoil (Figure 5.1). Figures 5.2-5.5 depict the present condition of the project area. Disturbances include rail lines, farm roads, buried pipelines, and agricultural activities.

### SITES/ISOLATED FINDS

No cultural material or features were encountered during this investigation.

### STANDING STRUCTURES

There are no structures on the property, nor does it appear from historic maps that there ever were any.

### HISTORIC AREAS

No historic areas are located within the project area boundaries.



*Figure 5.1. View of typical shovel test.*



Groundwater Associates LLC  
16131 13 Mile Road  
Battle Creek, MI 49014  
269.244.5400  
clabadia@groundwater-associates.com

Item # 20-01

January 17, 2020

VIA POST AND ELECTRONIC DELIVERY

Merrill McKarry, Planning & Permitting Supervisor  
St. James Parish Planning and Permitting Office  
P.O. Box 106  
Convent, LA 70723  
(225) 562-2264

**RE: Plains Marketing, L.P. – St. James Methanol Rail Project – RFI Response**

Dear Mr. McKarry:

On behalf of Plains Marketing, L.P. (Plains), Groundwater Associates LLC (GWA) submits this response to the Request for Information (RFI) that was provided to Carlos Labadia of GWA by the Parish on January 8, 2020. Previously, Plains has provided the following documents in support of its Industrial Land Use Permit Application:

- **Attachment 1** - The proposed track and turnouts (included in this filing the Parish will find a revised plot plan showing existing rail facilities in red and proposed facilities in blue);
- **Attachment 2** – St. James Parish Industrial Land Use Permit Application (including \$2,500 fee) (no changes);
- **Attachment 3** - Written communication between Eric Wolverton (St. James Parish Floodplain Manager) and Carlos Labadia (GWA Project Manager) indicating that the rail additions to the existing rail will not require a special floodplain development permit (no changes); and
- **Attachment 4** - Louisiana Department of Natural Resources (DNR) Determination that a Coastal Use Permit (CUP) application need not be submitted for the proposed Project unless the Project would likely have significant adverse impacts to coastal resources located outside of the proposed Project area footprint (no changes).

GWA provides the individual requests and response to the RFI issued by the Parish:

- a. **a listing and a map of all parks, playgrounds, churches, schools, community or senior citizen centers, nursing homes, hospitals, other places of public assembly, and historic sites within the Impact Area of the use or activity for which approval is sought:**
  - Parks – None found within one mile of impact area. Closest is Welcome Park located 3.35 miles north of Project.
  - Playgrounds – None found within one mile of impact area. Closest is Magnolia Park located 8.16 miles northeast of Project.
  - Churches – St. Paul Baptist Church located within 0.96 mile east of Project (Attachment 5 included in this response).
  - Schools - None found within one mile of impact area. Closest is Fifth Ward Elementary School located 4.5 miles northwest of Project.



Community/Senior Citizen Centers - None found within one mile of impact area. Closest is New Hope International Community Center located 7.62 miles east of Project.

Nursing home - None found within one mile of impact area. Closest is Chateau St. James Rehabilitation and Retirement Home located 10.0 miles northeast of Project.

Hospital - None found within one mile of impact area. Closest is St. James Parish Hospital located 9.76 miles northeast of Project.

Other Places of Public Assembly - None found within one mile of impact area.

Historic sites - On August 5-7 and August 20, 2019, TerraXplorations, Inc. (TerraX) of Mobile, Alabama performed a Phase I cultural resources survey for the proposed Project. TerraX concluded that the Project area is not a likely location for pre-contact sites due to the swampy conditions. Also, there is no evidence of any historic structures being erected within the Project area. While the Project area may have been associated with a historic plantation, the land appears to have been in cultivation for more than 150 years. No cultural material or features were encountered during this investigation. There are no structures on the property, nor does it appear from historic maps that there ever were any. No historic areas are located within the Project area boundaries. The investigation did not identify any archaeological sites or historic resources within the Project area. No further archaeological studies were recommended and the Project was determined to have no effect on any resources in the area.

- b. a listing of all substances that are anticipated to be present on the site for which reportable quantities have been established under the Right-to-Know Law (La. R.S. 30:2361, et seq.), along with the anticipated quantities of such substances

Methanol - No more than 27,020 barrels at one time within rail cars.

Argon – No more than 3,378 barrels at one time within rail cars.

- c. if Chapter 30, Article III of the St. James Parish Code of Ordinances applies (“Emergency Response and Mitigation of Regulated and Unregulated Material Incidents”), a description of how the use or activity will comply with Sec. 30-64, Defensive Emergency Protective Measures.

Plains’ St. James Terminal complies with the National Fire Protection Association (NFPA) standards as listed by the Parish and has a retainer in place with a local emergency provider for services. Plains has water supplied through two pumps from a 25 million gallon on site reservoir.



Page 3  
Mr. M. McKarry  
January 17, 2020

We would appreciate if the Parish would copy James Buchanan - Plains Sr. Environmental Permitting & Compliance (JBuchanan@paalp.com) on any subsequent communication. Thank you for considering this important Plains Project. Carlos Labadia can be reached at (269) 244-5400.

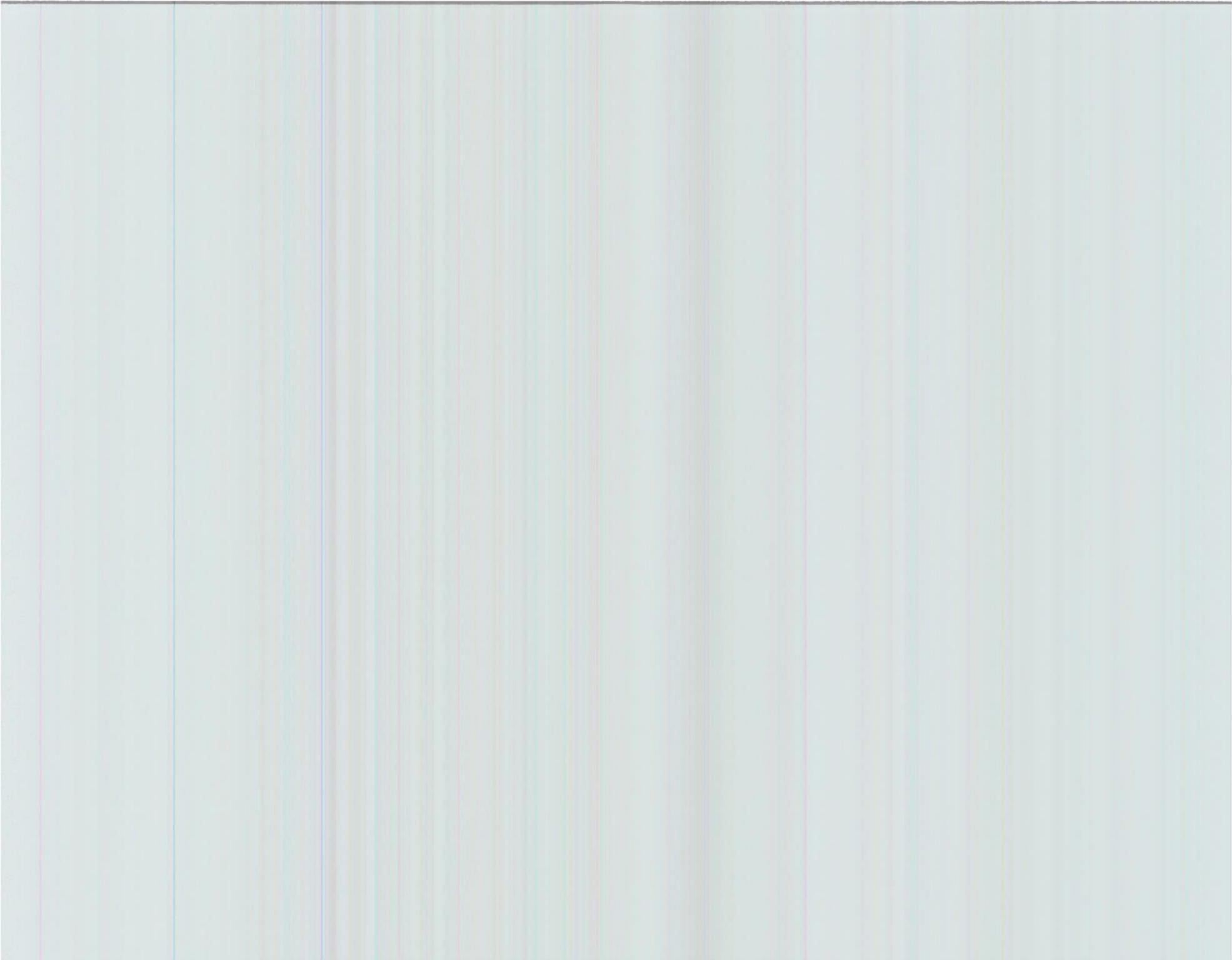
Sincerely,

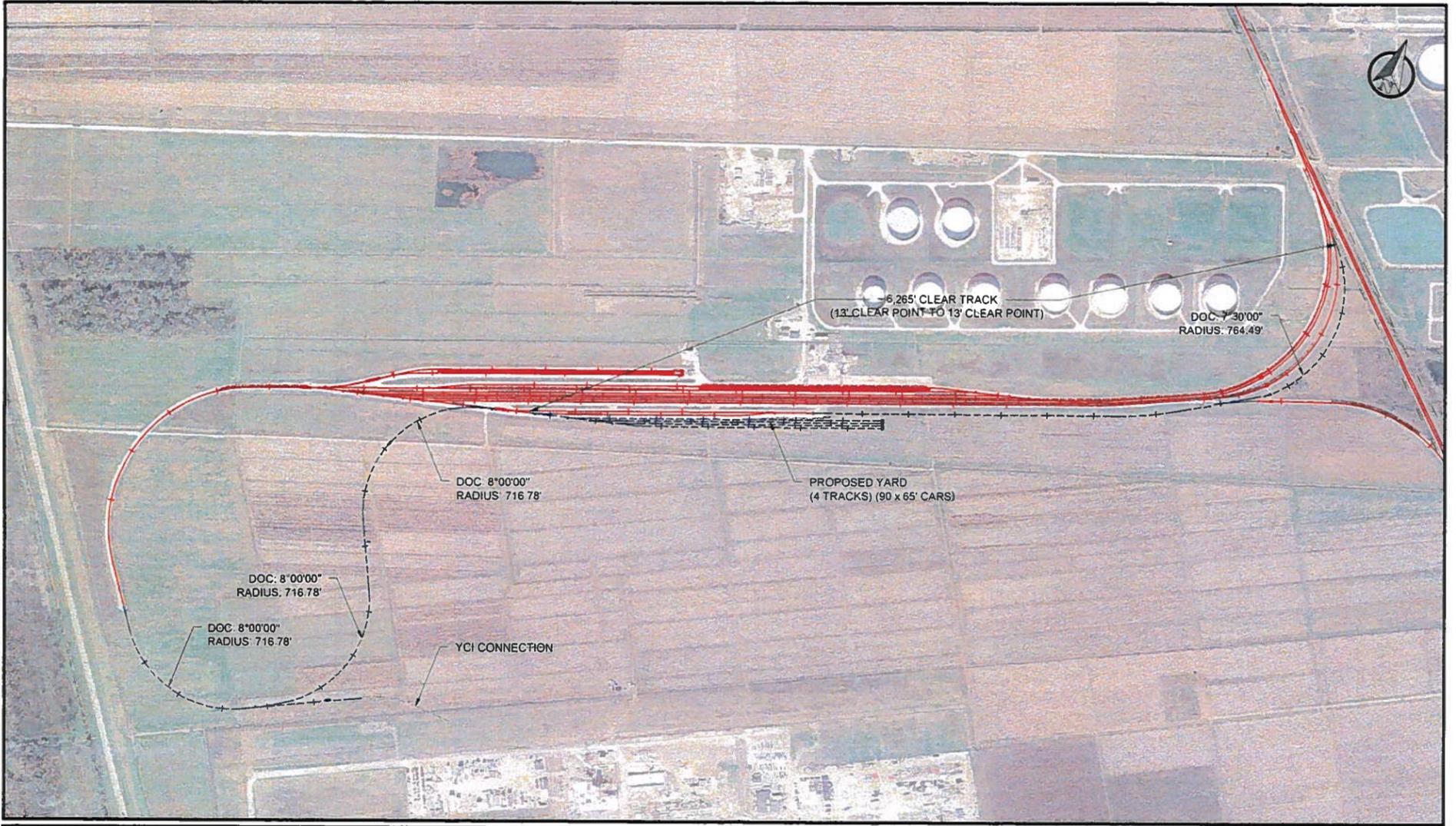
**Groundwater Associates, LLC**

A handwritten signature in blue ink, appearing to read 'CL', is positioned above the typed name.

Carlos F. Labadia, CPESC, A.M. ASCE  
Principal

# **Attachment 1**





**CRITD**  
RAILROAD INFRASTRUCTURE & TERMINAL DEVELOPMENT, LLC

4817 HIGHWAY 101, SUITE 1000  
BOSSIERE, LOUISIANA 70051

(504) 336-0000 WWW.CRITD.COM PROJ # 10003

REV	DATE	BY	DESCRIPTION

**PRELIMINARY**

THIS DRAWING IS FOR STUDY PURPOSES ONLY AND IS NOT BASED ON SURVEYED DATA BUT MAY LEAD TO CONFLICTS WITH ADJACENT REAL AND PERSONAL PROPERTY. FURTHER PROVISIONS OF THIS PROJECT WILL REQUIRE ADDITIONAL OR A REVISION BASED ON SURVEYED DATA AND SUBSEQUENT APPROVALS FROM THE SERVING RAILROAD.

DATE	17/09/19	DRAWN	
CHECKED		APPROVED	

THIS DRAWING SET WAS CREATED FROM INFORMATION PROVIDED BY OTHERS AND HAS NOT BEEN VERIFIED BY FIELD MEASUREMENTS OF TOPOGRAFICAL SURVEY. P.A. SCHWEITZER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION CONTAINED IN THIS DRAWING SET. USE OF ANY PORTION OF THIS DRAWING CONSTITUTES ACCEPTANCE OF THE TERMS & CONDITIONS OF P.A. SCHWEITZER CO. INC.

**CRITD** RAILROAD INFRASTRUCTURE & TERMINAL DEVELOPMENT, LLC

**LOCATION AND DESCRIPTION**

MP 82.5, LYONIA SUBDIVISION  
ST. JAMES, ST. JAMES PARISH, LOUISIANA  
TRACKAGE TO SERVE PLAINS MARKETING LP (LA)

**PLAINS MARKETING LP (LA)**

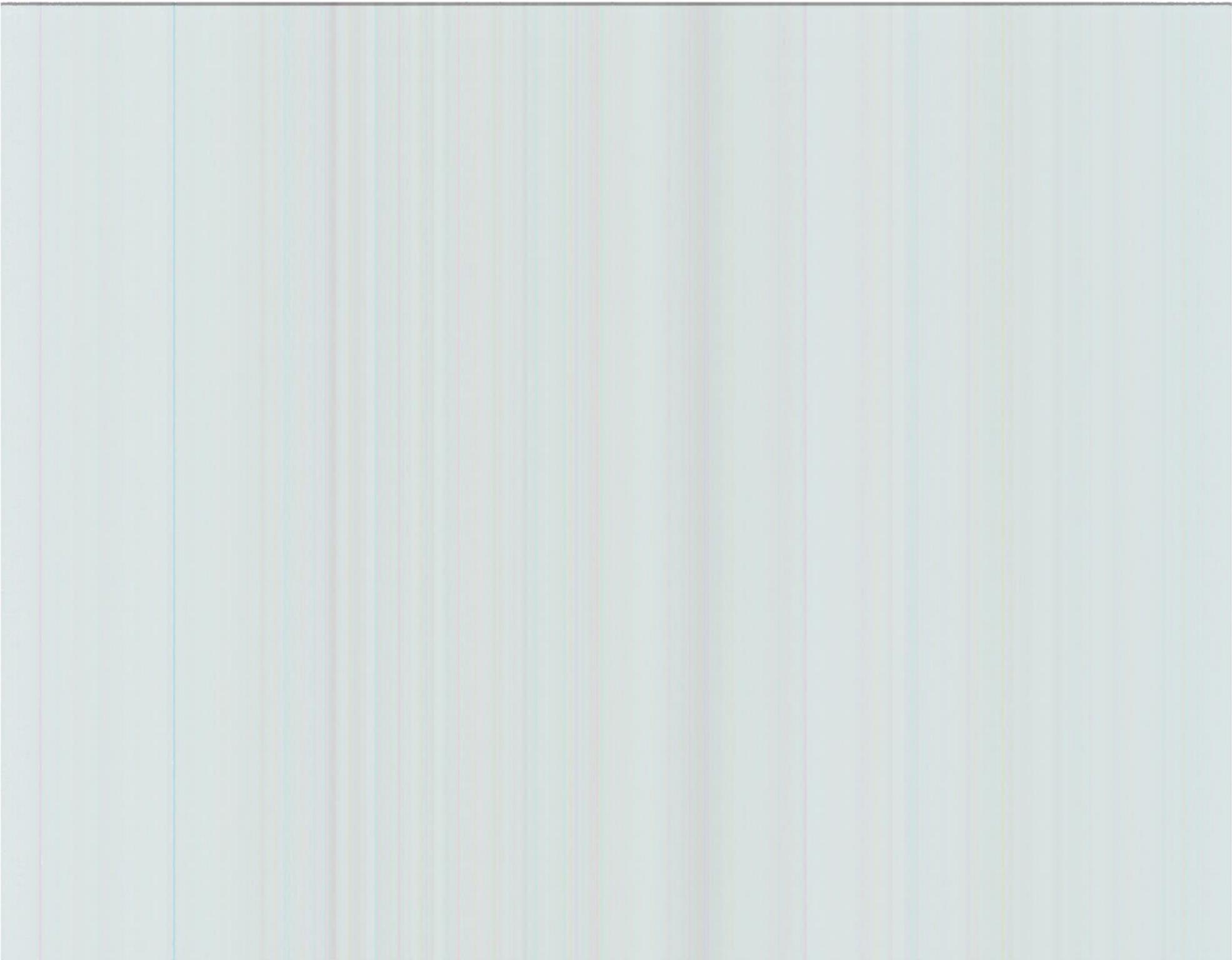
**EXHIBIT DRAWING**  
**TRACK DESIGN**  
**PROJECT OVERVIEW**

REV #

**T1.1**

PROJ # 10003

## Attachment 2





# St James Parish Industrial Land Use

St James Parish Planning & Permitting Office

P.O. Box 106

Convent La. 70723

Office: 225-562-2264 or 225-562-2444

Name of Corporation: Plains Marketing, L.P.

Representative: James Buchanan

Mailing Address: 333 Clay Street, Suite 1600, Houston, Texas, 77002

Representative email address: jcbuchanan@paalp.com

Phone Number: (Office) (713) 993-5260 (Cell) (661) 437-1459 (Fax) \_\_\_\_\_

## 1. Attach Preliminary Plat

- a. Location of Site Plains' St. James Terminal within St. James Parish, St. James, Louisiana
- b. Section-Township-Range Sections 58, 59, 81, 82, and 90; T12S; R16E
- c. Current use of site Mixed industrial, sugarcane production, and fallow farmland
- d. Total acreage of site 26.9 acres
- e. Acreage of development and elevation \_\_\_\_\_
- f. Current land use designation by Parish Industrial
- g. Distance between proposed facility and nearest residential properties 3,500 feet

## 2. Facility Description

- a. Description of facility and proposed operations (attach additional sheets if needed)  
Plains plans to install industrial tracks and turnouts in support of the adjacent Yuhuang Chemical Inc. (YCI) Methanol One, LLC Facility. The proposed track and turnouts will be an expansion of Plains' existing St. James Terminal, which is directly served by the Union Pacific Railroad (UPRR).  
The proposed project only includes the installation of new tracks and turnouts.  
\_\_\_\_\_  
\_\_\_\_\_

b. Include anticipated future expansions \_\_\_\_\_

There are no future expansions anticipated at this time.

c. Estimated permanent full time employees / part time employees / contract employees

Existing staff will be utilized to support the proposed project.

d. Estimated contractor employees during construction 20-30

e. Length of construction Approximately 120 days

f. Proposed date of construction TBD - 1st quarter 2020

g. Proposed date of operations TBD - 3rd quarter 2020

### 3. Substances Produced and/or Stored

a. List any and all types of substances the proposed facility is projected to produce and/or store. (attach additional sheets if needed)

Not applicable. New tracks associated with the proposed project will only serve to transport

product (methanol) from the adjacent YCI facility to the existing UPRR system.

- b. Attach any pertinent Material Safety Data Sheets (MSDS).
- c. Include National Fire Protection Association (NFPA) 704 reference.

### 4. Is the proposed facility projected to produce and/or store any substances related to the Emergency Planning and Community Right-to-Know Act (EPCRA)? Not applicable

a. Facility Type:

- i. EPCRA Facility Type 302
- ii. EPCRA Facility Type 311/312
- iii. EPCRA Facility Type 313
- iv. EPCRA RMP Site

**5. What is the facility's average, most probable worst case scenario for both RMP and non-RMP facilities?**

The proposed project will not result in a worst case scenario that differs significantly from current conditions at the existing terminal. The proposed project will allow for transportation of rail cars containing methanol through the facility. In the event there is a total failure of a rail car, less than 500 barrels of methanol could be released into the surrounding area. Plains has a Facility Response Plan and agreements with local spill response organizations to respond to any incident.

**6. What is the proposed facility's Emergency Operation Plan for the prevention, preparation, response, mitigation, and recovery for the following:**

- a. Fire- to include manpower, fire water, cooling water and appropriate fire suppression agent, i.e., foam, dry chemical. Plains has a Fire Pre-Plan that addresses the facility's capabilities related to fire prevention and response. The proposed project will be covered under the same plan.
- i. Is the facility's water supply designed for twice the water supply needed?  
Yes
- ii. Does the facility have twice the needed fire suppression agent, i.e., foam, dry chemical?  
Yes
- b. Releases- to include manpower and resources, i.e. water, foam, dry chemical. See #5 response above
- c. Spills- to include manpower and resources, i.e. water, foam, dry chemical. See #5 response above
- d. Weather events. See #5 response above
- e. Air monitoring at the perimeter of the facility (fence line) to assure public safety. See #5 response above
- f. Does the proposed facility agree to provide Emergency Response Plan(s) to, at a minimum, respective fire department and Parish Office of Emergency Preparedness for proper public safety planning? Plains has provided Emergency Response Plans to these agencies previously. Updates are provided upon request.
- g. The proposed facility projected operating schedule other than normal downtime for routine maintenance?  
The facility operating schedule is 24/7/365. This will continue with the proposed project.

**7. Will the proposed facility be manned 24/7/365? Yes**

- a. If not, what procedures are proposed for emergency notifications for the duration of unmanned hours? Not applicable

8. Does the proposed facility have a Facility Security Plan? Yes

a. Does the Facility Security Plan incorporate prevention, preparation, response, mitigation, and recovery from chemical, biological, radiological and inclement weather threats? No. The St. James Terminal has two separate Facility Security Plans. One has been approved by the

Transportation Security Administration (TSA) and the second has been approved by the U.S. Coast Guard (USCG). Both Plans contain Security Sensitive Information and can only be shared on a "need to know" basis per regulation.

---

---

---

---

---

b. Does the Facility Security Plan incorporate remote sites, i.e., docks, off-site locations, rail service, marine services or pipelines? \_\_\_\_\_

Yes. The St. James Terminal has two separate Facility Security Plans. One has been approved by the TSA and the second has been approved by the USCG. Both Plans contain Security Sensitive Information and can only be shared on a "need to know" basis per regulation.

---

---

---

---

---

**Please note:** This application, twenty-five (25) copies of supporting documents, one electronic copy, and payment to St. James Parish Government for Planning Commission review shall be presented to the St. James Parish Planning Office at least thirty (30) days prior to a regular meeting of the Planning Commission. Include letters indicating the availability of service and adequate capacities from affected utilities, including water/sewerage, electricity, gas, telephone and cable television. In areas lacking sewerage, letters indicating the alternate disposal method has been approved by the state office of public health. The St. James Parish Planning Commission reserves the right to request additional information.

Additional permits may be required by St. James Parish Permitting Office, Louisiana Department of Health and Hospitals, Louisiana State Fire Marshal and other Federal, State and Local regulating bodies.

# Attachment 3

